

FRONT ELEVATION 'A1'



FRONT ELEVATION 'A2'



FRONT ELEVATION 'A3' & 'A4'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV 'A1'
- A2 GROUND FLOOR ELEV 'A1'
- A3 SECOND FLOOR ELEV 'A1'
- A4 PARTIAL SECOND FLOOR ELEV 'A1', 'A2', 'A3' & 'A4'
W/ OPTIONAL ENSUITE LAYOUT
- A5 BASEMENT FLOOR ELEV 'A2'
- A6 GROUND FLOOR ELEV 'A2'
- A7 SECOND FLOOR ELEV 'A2'
- A8 BASEMENT FLOOR END CONDITION ELEV 'A3'
- A9 GROUND FLOOR END CONDITION ELEV 'A3'
- A10 SECOND FLOOR END CONDITION ELEV 'A3' & 'A4'
- A11 BASEMENT FLOOR END CONDITION ELEV 'A4'
- A12 GROUND FLOOR END CONDITION ELEV 'A4'
- A13 FRONT ELEVATION 'A1'
- A14 ROOF PLAN ELEV 'A1'
- A15 REAR ELEVATION 'A1' & 'A2'
- A16 FRONT ELEVATION 'A2'
- A17 ROOF PLAN ELEV 'A2'
- A18 FRONT ELEVATION 'A3' & 'A4'
- A19 ROOF PLAN ELEV 'A3' & 'A4'
- A20 RIGHT SIDE ELEVATION 'A3' & 'A4'
- A21 REAR ELEVATION 'A3'
- A22 REAR ELEVATION 'A4'
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

THE FLOOR AND TRUSS LAYOUTS PROVIDED BY THE MANUFACTURER HAVE BEEN REVIEWED, APPROVED AND COORDINATED ON THE WORKING DRAWING PLANS PROVIDED BY RN DESIGN

THE FINAL GRADING OF THIS PROPERTY SHALL NOT ADVERSELY EFFECT THE DRAINAGE OF ADJACENT PROPERTIES OR THE OVERALL GRADING CONTROL PLAN.

PERMIT APPROVAL DOCUMENTS TO BE KEPT ON SITE AT ALL TIMES FOR INSPECTION

IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS ARE FOR YOUR INFORMATION AND ASSISTANCE ONLY AND DO NOT NECESSARILY COMMENT ON ALL AREAS OF CONSTRUCTION.

Areas:

	ELEVATION 'A1'		ELEVATION 'A2'		ELEVATION 'A3'		ELEVATION 'A4'	
	SF	SM	SF	SM	SF	SM	SF	SM
GROUND FLOOR	762.6	70.8	774.7	72.0	811.3	75.4	774.7	72.0
SECOND FLOOR	1020.7	94.8	1043.7	97.0	1033.2	96.0	1033.2	96.0
TOTAL AREA	1783.3	165.7	1818.4	168.9	1844.5	171.4	1807.9	168.0
COVERAGE INC PORCH	1100.2	102.2	1100.2	102.2	1139.7	105.9	1100.2	102.2
COVERAGE NOT INC PORCH	1015.0	94.3	1026.3	95.3	1065.8	99.0	1026.3	95.3

Tice River Homes

Legacy

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 20888
FIRM BCIN: 26995
DATE: JANUARY-13-23

SIGNATURE:

client
Tice River Homes

project
Legacy

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	23-FEB-18	LO	JM	6	REVISED PER TRUSS COORDINATION	31-Oct-22	MD	AD
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	20-JUL-18	WU	JM	7	REVISED PER CLIENT COMMENTS	10-Nov-22	MD	AD
3	MADE ELEV 'A-2' FULL PLANS PER CITY COMMENTS	4-Oct-19	KC	ES	8	REV PER ENG COMMENTS	22-DEC-22	MD	AD
4	RE-ISSUED FOR PERMIT	18-Oct-19	ES	ES	9	REVISED PER ADDITIONAL ENG COMMENTS	12-Jan-23	MD	AD
5	REVISED PER CLIENT COMMENTS	29-APR-22	CR	DJH	10	ISSUED FOR PERMIT	13-Jan-23	KS	AD

location
Ayr

marketing name



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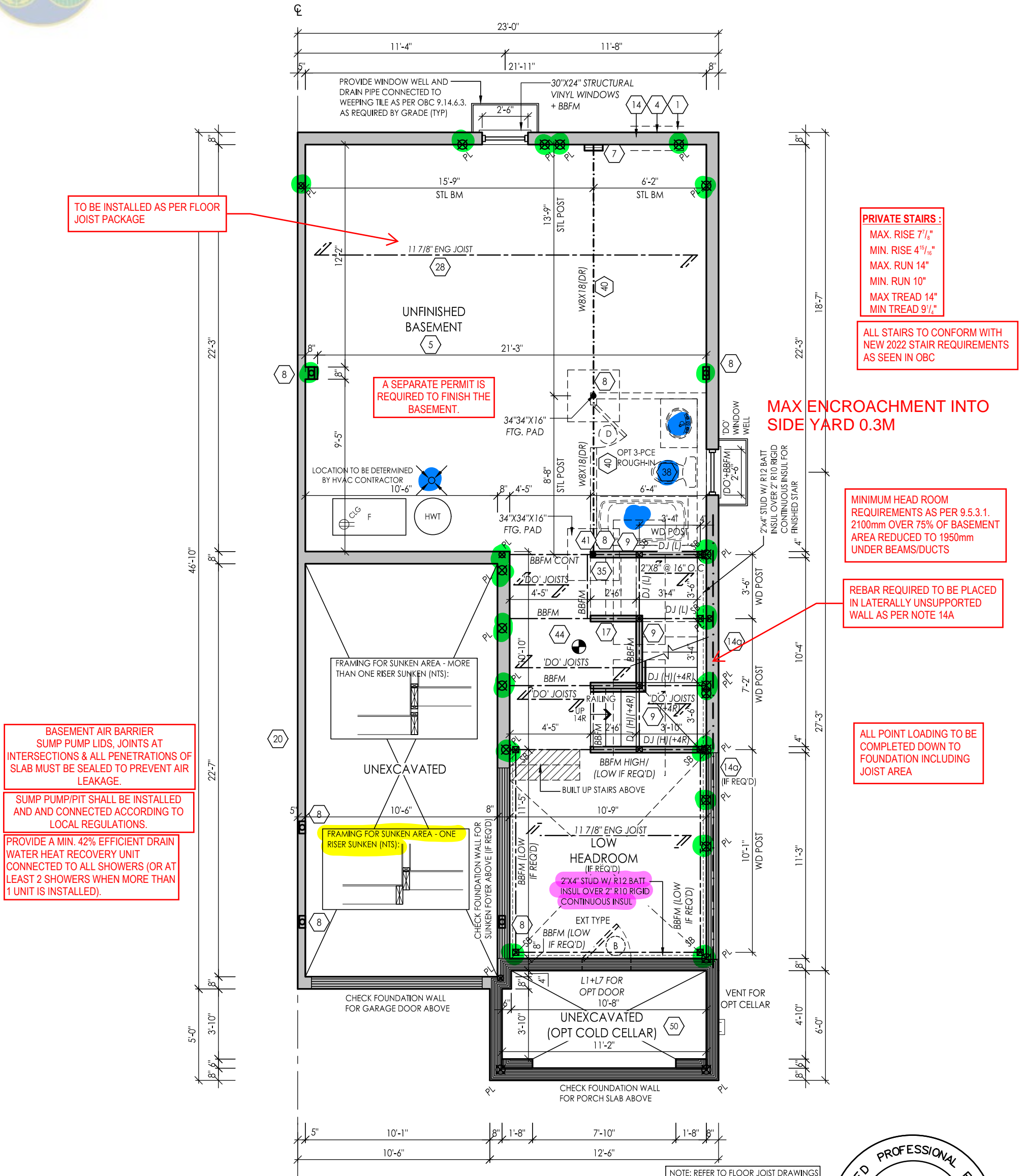
model
TH-02

scale
3/16" = 1'0"

project #
17052

page

A0



BASEMENT FLOOR END CONDITION ELEV 'A3'

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING

PRIVATE STAIRS :

- MAX. RISE 7 1/8"
- MIN. RISE 4 15/16"
- MAX. RUN 14"
- MIN. RUN 10"
- MAX TREAD 14"
- MIN TREAD 9 1/2"

ALL STAIRS TO CONFORM WITH NEW 2022 STAIR REQUIREMENTS AS SEEN IN OBC

MAX ENCROACHMENT INTO SIDE YARD 0.3M

MINIMUM HEAD ROOM REQUIREMENTS AS PER 9.5.3.1. 2100mm OVER 75% OF BASEMENT AREA REDUCED TO 1950mm UNDER BEAMS/DUCTS

REBAR REQUIRED TO BE PLACED IN LATERALLY UNSUPPORTED WALL AS PER NOTE 14A

ALL POINT LOADING TO BE COMPLETED DOWN TO FOUNDATION INCLUDING JOIST AREA

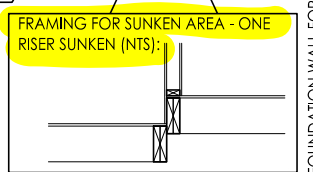
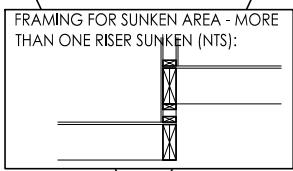
TO BE INSTALLED AS PER FLOOR JOIST PACKAGE

A SEPARATE PERMIT IS REQUIRED TO FINISH THE BASEMENT.

BASEMENT AIR BARRIER SUMP PUMP LIDS, JOINTS AT INTERSECTIONS & ALL PENETRATIONS OF SLAB MUST BE SEALED TO PREVENT AIR LEAKAGE.

SUMP PUMP/PIT SHALL BE INSTALLED AND CONNECTED ACCORDING TO LOCAL REGULATIONS.

PROVIDE A MIN. 42% EFFICIENT DRAIN WATER HEAT RECOVERY UNIT CONNECTED TO ALL SHOWERS (OR AT LEAST 2 SHOWERS WHEN MORE THAN 1 UNIT IS INSTALLED).



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SIGNATURE:

client Tice River Homes

location Ayr

project Legacy

marketing name

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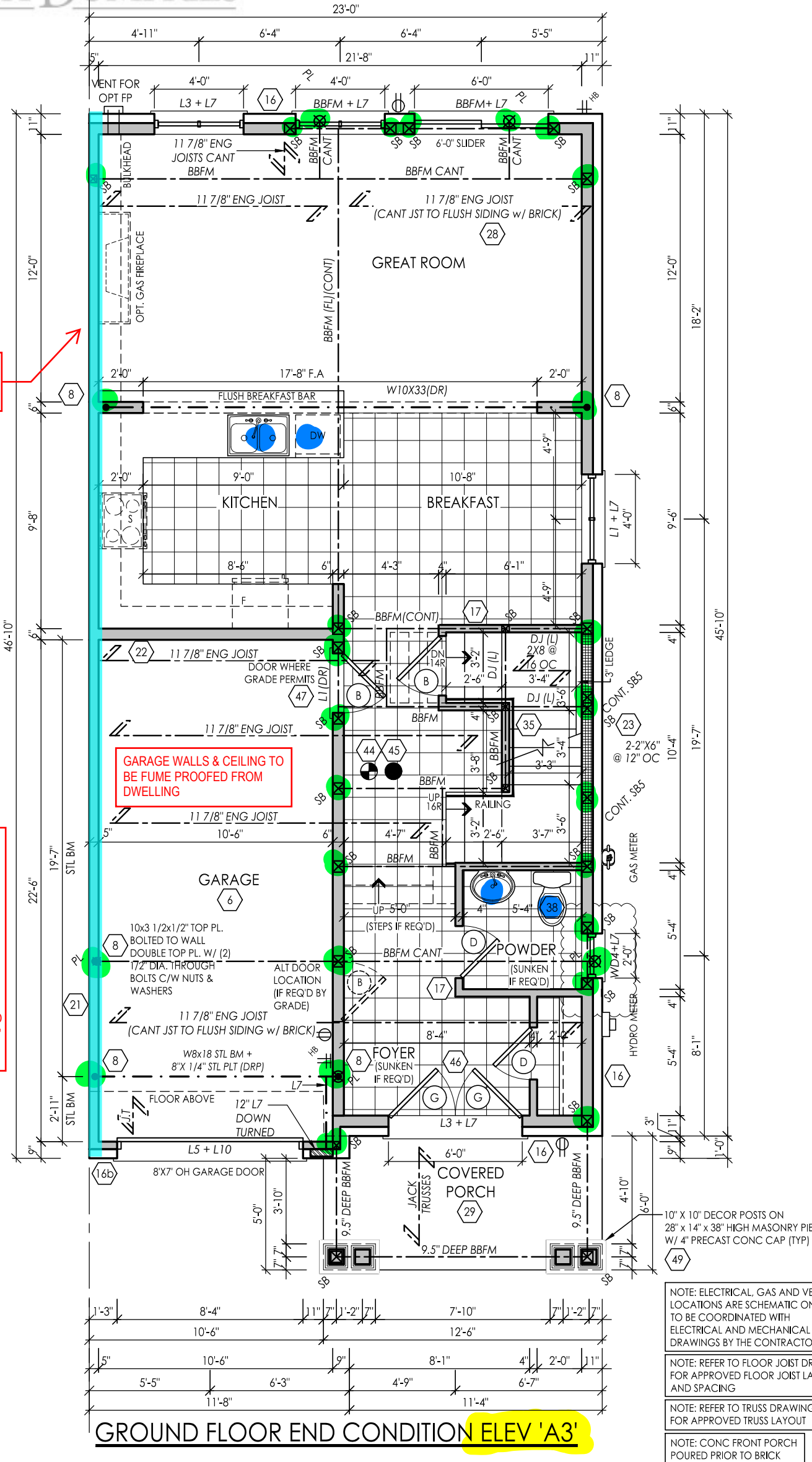
model TH-02

scale 3/16" = 1'0"

project # 17052

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A7



W13A WALL TO BE CONSTRUCTED AS PER NOTE 21
STC 57 1 HR PARTY WALL

PRIVATE STAIRS :
MAX. RISE 7 7/8"
MIN. RISE 4 15/16"
MAX. RUN 14"
MIN. RUN 10"
MAX TREAD 14"
MIN TREAD 9 1/4"

ALL STAIRS TO CONFORM WITH NEW 2022 STAIR REQUIREMENTS AS SEEN IN OBC

PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAXIMUM 4" WHEN DOOR SILL EXCEEDS 24" ABOVE GRADE.

AN EXTERIOR LIGHT IS REQUIRED AT ALL ENTRANCES TO THE DWELLING UNIT

GUARDS CONFORMING TO SB-7 AND 9.8.8. ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE

ALL GUARDS MUST BE NON-CLIMBABLE WITH NO HORIZONTAL MEMBERS BETWEEN 5 1/2" AND 35" ABOVE THE FLOOR OR WALKING SURFACE

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK



FOR STRUCTURAL ITEMS ONLY

- = A CONTINUOUS FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING AND MINIMUM 50 SOUND TRANSMISSION CLASS RATING REQUIRED.
- = A 45 MINUTE FIRE RESISTANCE RATING REQUIRED. NON-COMBUSTIBLE CLADDING REQUIRED

THE FLOOR AND TRUSS LAYOUTS PROVIDED BY THE MANUFACTURER HAVE BEEN REVIEWED, APPROVED AND COORDINATED ON THE WORKING DRAWING PLANS PROVIDED BY RN DESIGN

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DATE: JANUARY-13-23

client	Tice River Homes					location	Ayr				
project	Legacy					marketing name					
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					10	ISSUED FOR PERMIT				13-Jan-23 KS AD	



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project # 17052

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A8



W13A WALL TO BE CONSTRUCTED AS PER NOTE 21
STC 57 1 HR PARTY WALL

PRIVATE STAIRS:
MAX. RISE 7 7/8"
MIN. RISE 4 15/16"
MAX. RUN 14"
MIN. RUN 10"
MAX TREAD 14"
MIN TREAD 9 1/4"

ALL STAIRS TO CONFORM WITH NEW 2022 STAIR REQUIREMENTS AS SEEN IN OBC

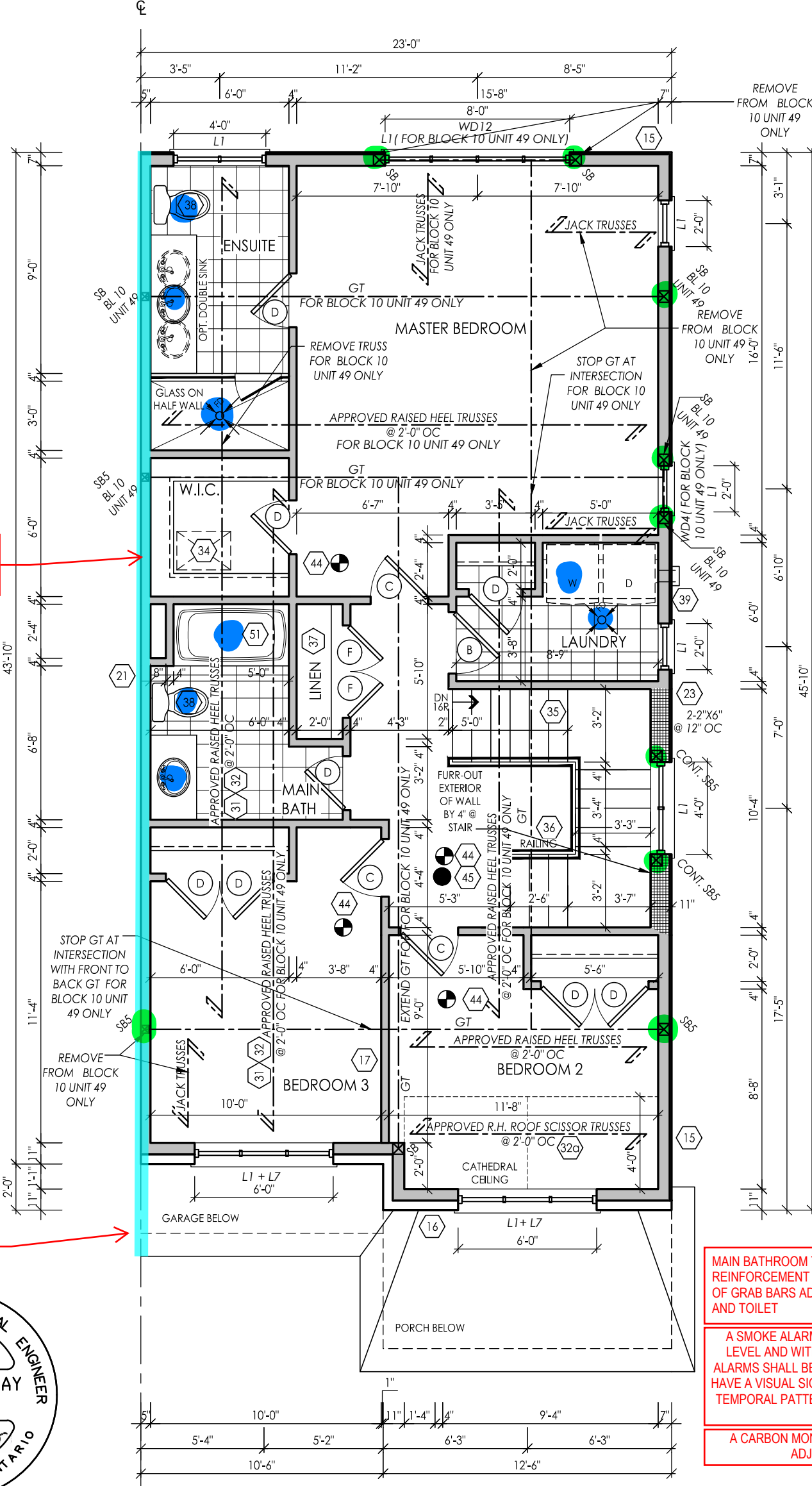
SHARED ROOF AREA REQUIRED TO HAVE ATTIC SEPARATION CONTINUED TO EAVE

MAIN BATHROOM TO HAVE STUD WALL REINFORCEMENT FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET

A SMOKE ALARM SHALL BE INSTALLED ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 18.5.3. OF NFPA 72.

A CARBON MONOXIDE DETECTOR SHALL BE LOCATED ADJACENT TO SLEEPING AREAS

IF WINDOW LESS THAN 900MM ABOVE STAIR, GUARD OR ENGINEERING REQUIRED



FOR STRUCTURAL ITEMS ONLY

SECOND FLOOR END CONDITION ELEV 'A3' & 'A4'

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

THE FLOOR AND TRUSS LAYOUTS PROVIDED BY THE MANUFACTURER HAVE BEEN REVIEWED, APPROVED AND COORDINATED ON THE WORKING DRAWING PLANS PROVIDED BY RN DESIGN

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- = A 45 MINUTE FIRE RESISTANCE RATING REQUIRED. NON-COMBUSTIBLE CLADDING REQUIRED

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10 ISSUED FOR PERMIT 13-Jan-23 KS AD

client
Tice River Homes

location
Ayr

project
Legacy

marketing name

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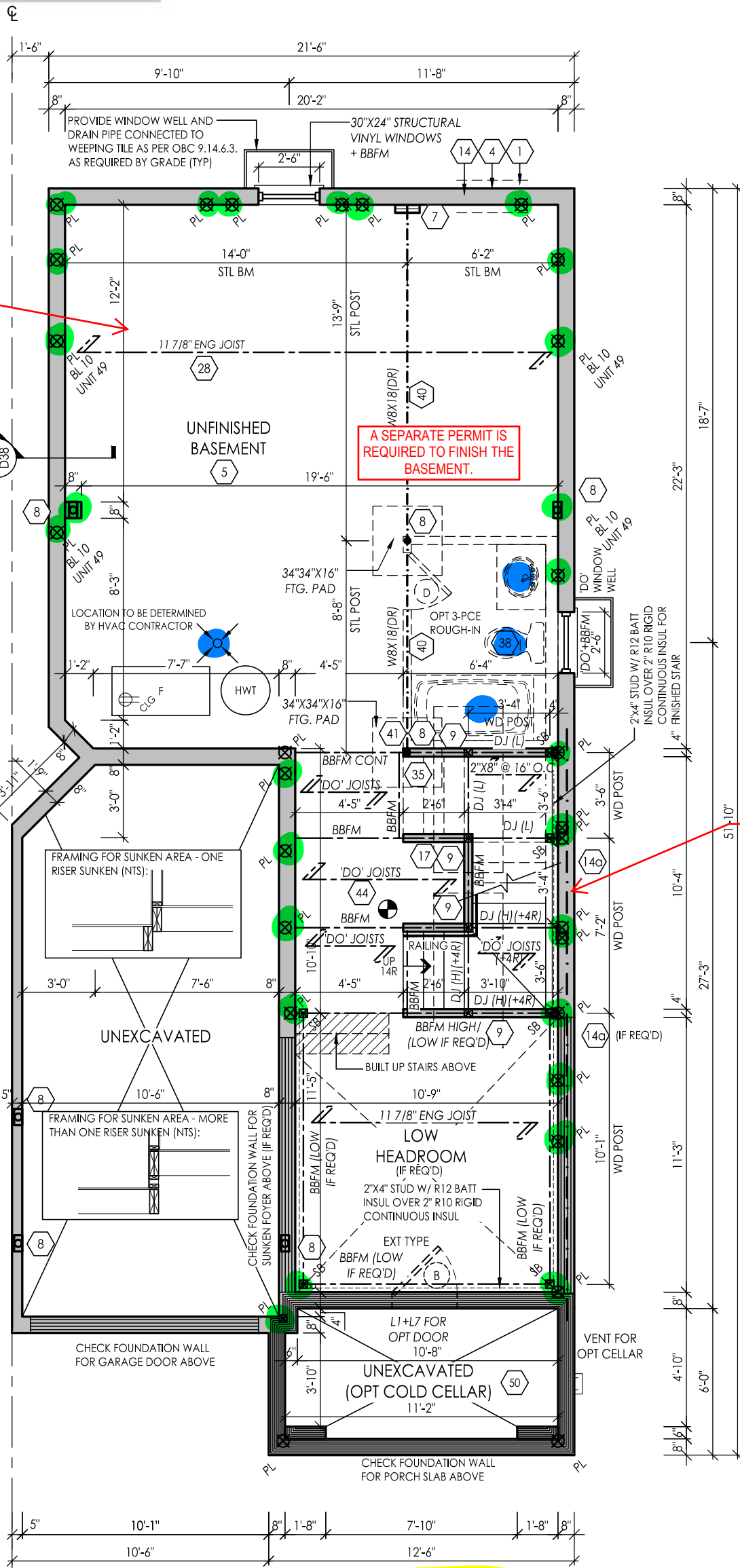
model
TH-02

scale
3/16" = 1'0"

project #
17052

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TO BE INSTALLED AS PER FLOOR JOIST PACKAGE

A SEPARATE PERMIT IS REQUIRED TO FINISH THE BASEMENT.

PRIVATE STAIRS :
MAX. RISE 7 7/8"
MIN. RISE 4 15/16"
MAX. RUN 14"
MIN. RUN 10"
MAX TREAD 14"
MIN TREAD 9 1/4"

ALL STAIRS TO CONFORM WITH NEW 2022 STAIR REQUIREMENTS AS SEEN IN OBC

MINIMUM HEAD ROOM REQUIREMENTS AS PER 9.5.3.1. 2100mm OVER 75% OF BASEMENT AREA REDUCED TO 1950mm UNDER BEAMS/DUCTS

REBAR REQUIRED TO BE PLACED IN LATERALLY UNSUPPORTED WALL AS PER NOTE 14A

ALL POINT LOADING TO BE COMPLETED DOWN TO FOUNDATION INCLUDING JOIST AREA

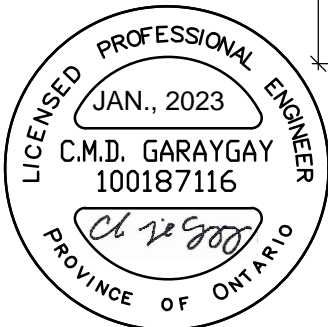
BASEMENT AIR BARRIER SUMP PUMP LIDS, JOINTS AT INTERSECTIONS & ALL PENETRATIONS OF SLAB MUST BE SEALED TO PREVENT AIR LEAKAGE.

SUMP PUMP/PIT SHALL BE INSTALLED AND CONNECTED ACCORDING TO LOCAL REGULATIONS.

PROVIDE A MIN. 42% EFFICIENT DRAIN WATER HEAT RECOVERY UNIT CONNECTED TO ALL SHOWERS (OR AT LEAST 2 SHOWERS WHEN MORE THAN 1 UNIT IS INSTALLED).

BASEMENT FLOOR END CONDITION ELEV 'A4'

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING



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SIGNATURE:

client Tice River Homes

location Ayr

project Legacy

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Table with 5 columns: #, revisions, date, dwn, chk, #, revisions, date, dwn, chk. Contains revision history for the drawing.



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SECOND FLOOR ABOVE REQUIRED TO MAINTAIN MINIMUM 1 HR FIRE SEPARATION OVER BREEZEWAY

PRIVATE STAIRS: MAX. RISE 7 7/8" MIN. RISE 4 15/16" MAX. RUN 14" MIN. RUN 10" MAX TREAD 14" MIN TREAD 9 1/4"

ALL STAIRS TO CONFORM WITH NEW 2022 STAIR REQUIREMENTS AS SEEN IN OBC

PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAXIMUM 4" WHEN DOOR SILL EXCEEDS 24" ABOVE GRADE.

AN EXTERIOR LIGHT IS REQUIRED AT ALL ENTRANCES TO THE DWELLING UNIT

GUARDS CONFORMING TO SB-7 AND 9.8.8. ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE

ALL GUARDS MUST BE NON-CLIMBABLE WITH NO HORIZONTAL MEMBERS BETWEEN 5 1/2" AND 35" ABOVE THE FLOOR OR WALKING SURFACE

10x3 1/2x1 1/2" TOP PL. BOLTED TO WALL DOUBLE TOP PL. W/ (2) 1/2" DIA. THROUGH BOLTS C/W NUTS & WASHERS REMOVE PL FROM BLOCK 10 UNIT 49 ONLY

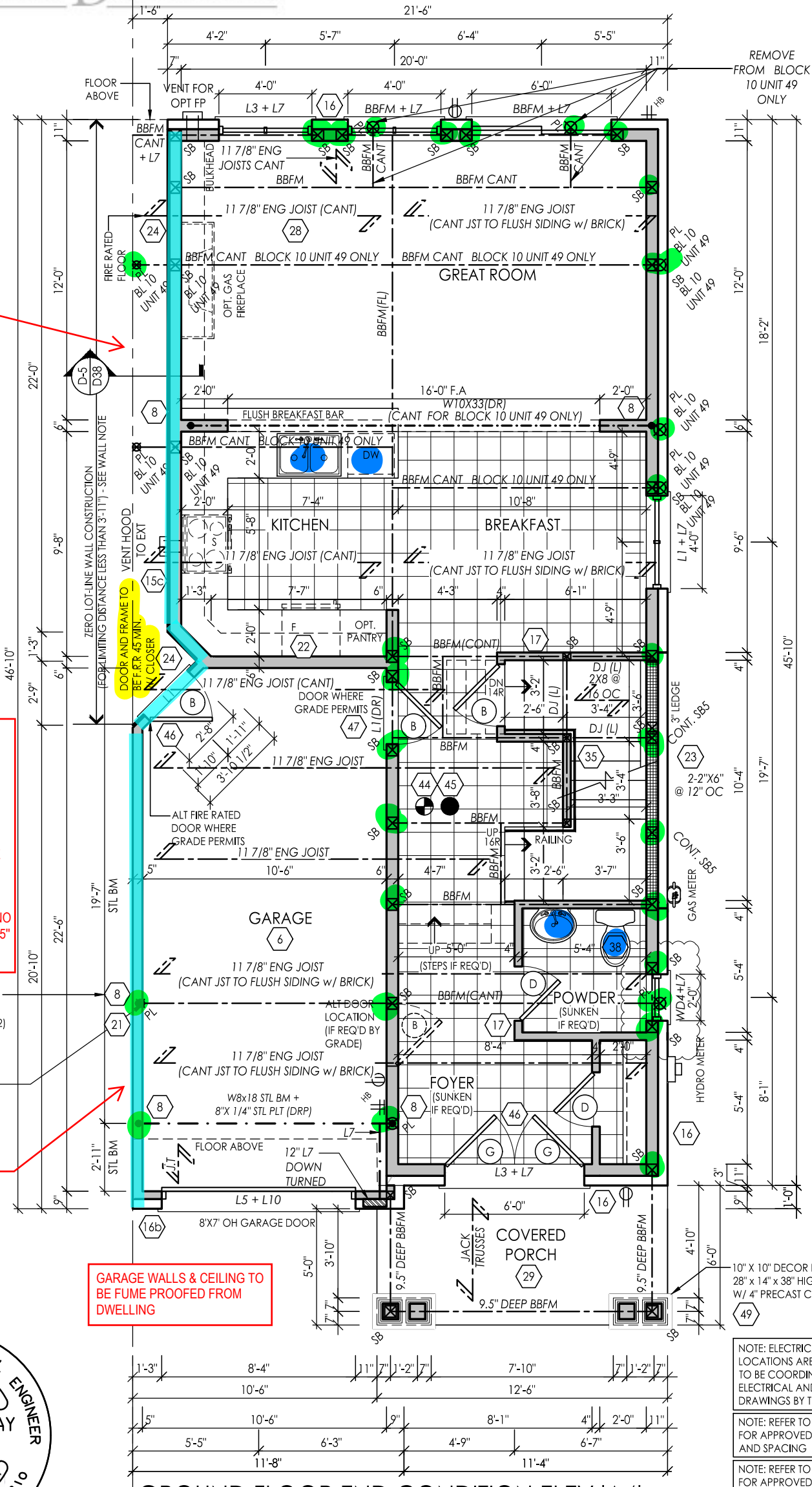
W13A WALL TO BE CONSTRUCTED AS PER NOTE 21 STC 57 1 HR PARTY WALL

GARAGE WALLS & CEILING TO BE FUME PROOFED FROM DWELLING



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GROUND FLOOR END CONDITION ELEV 'A4'

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK

- A CONTINUOUS FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING AND MINIMUM 50 SOUND TRANSMISSION CLASS RATING REQUIRED.
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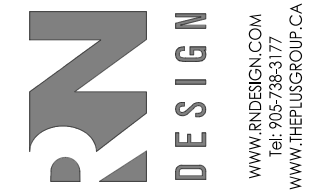
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Table with columns: #, revisions, date, dwn, chk, #, revisions, date, dwn, chk. Includes project name 'Legacy' and client 'Tice River Homes'.

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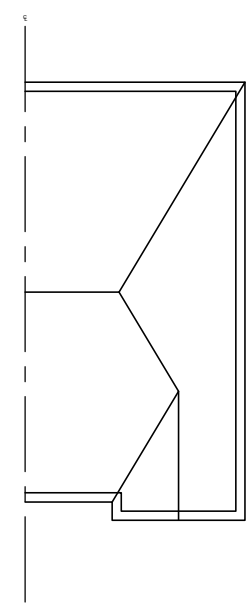
page A11



location Ayr
client Tice River Homes
project Legacy

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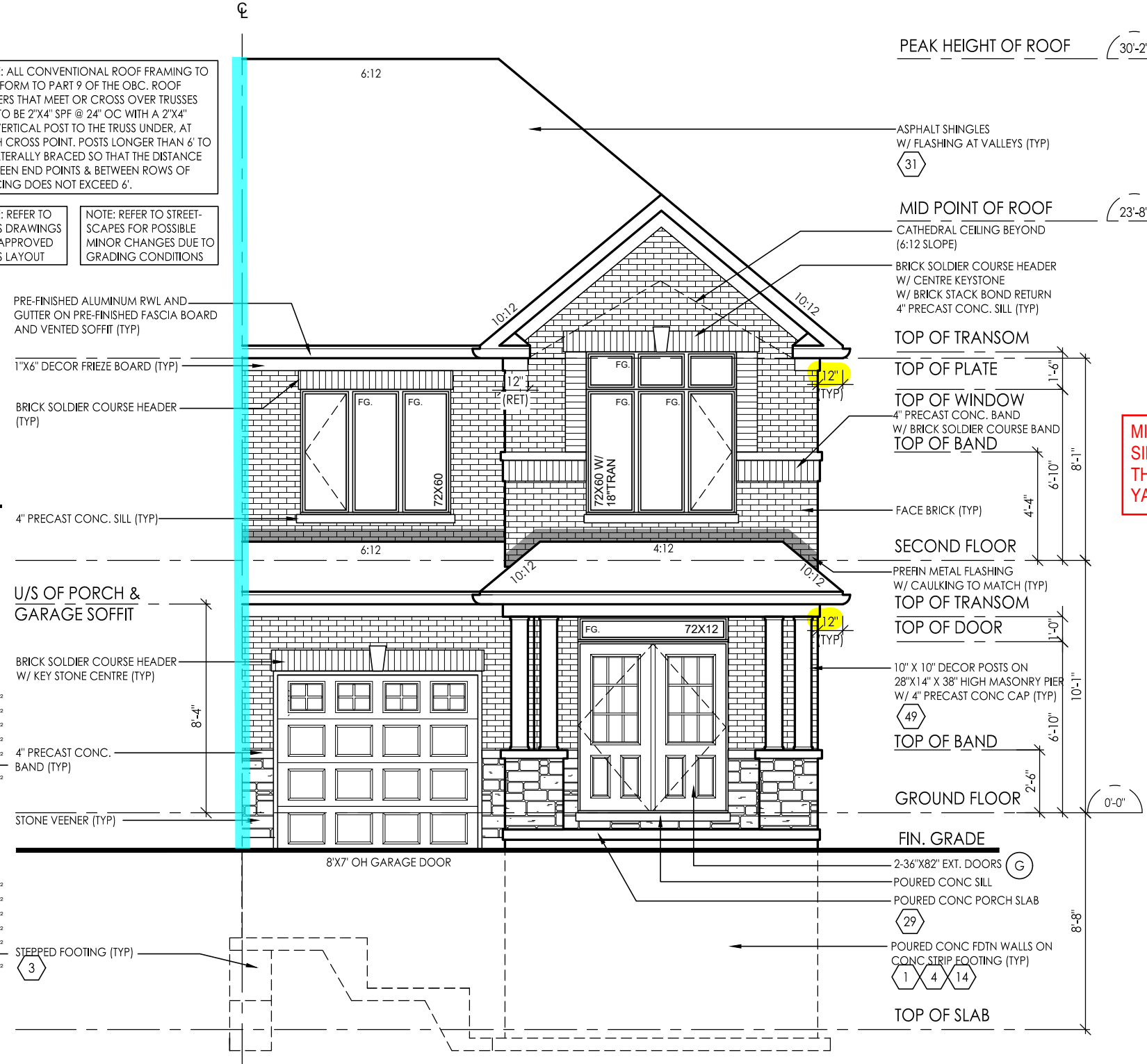


ROOF PLAN
ELEV 'A3' & 'A4'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



FRONT ELEVATION 'A3' & 'A4'

GROSS GLAZING AREA-ELEV A3

TOTAL PERIPHERAL WALL AREA	2707.46 SF	251.53 m ²
FRONT GLAZING AREA	86.81 SF	8.07 m ²
LEFT SIDE GLAZING AREA	0.00 SF	0.00 m ²
RIGHT SIDE GLAZING AREA	72.33 SF	6.72 m ²
REAR GLAZING AREA	142.67 SF	13.25 m ²

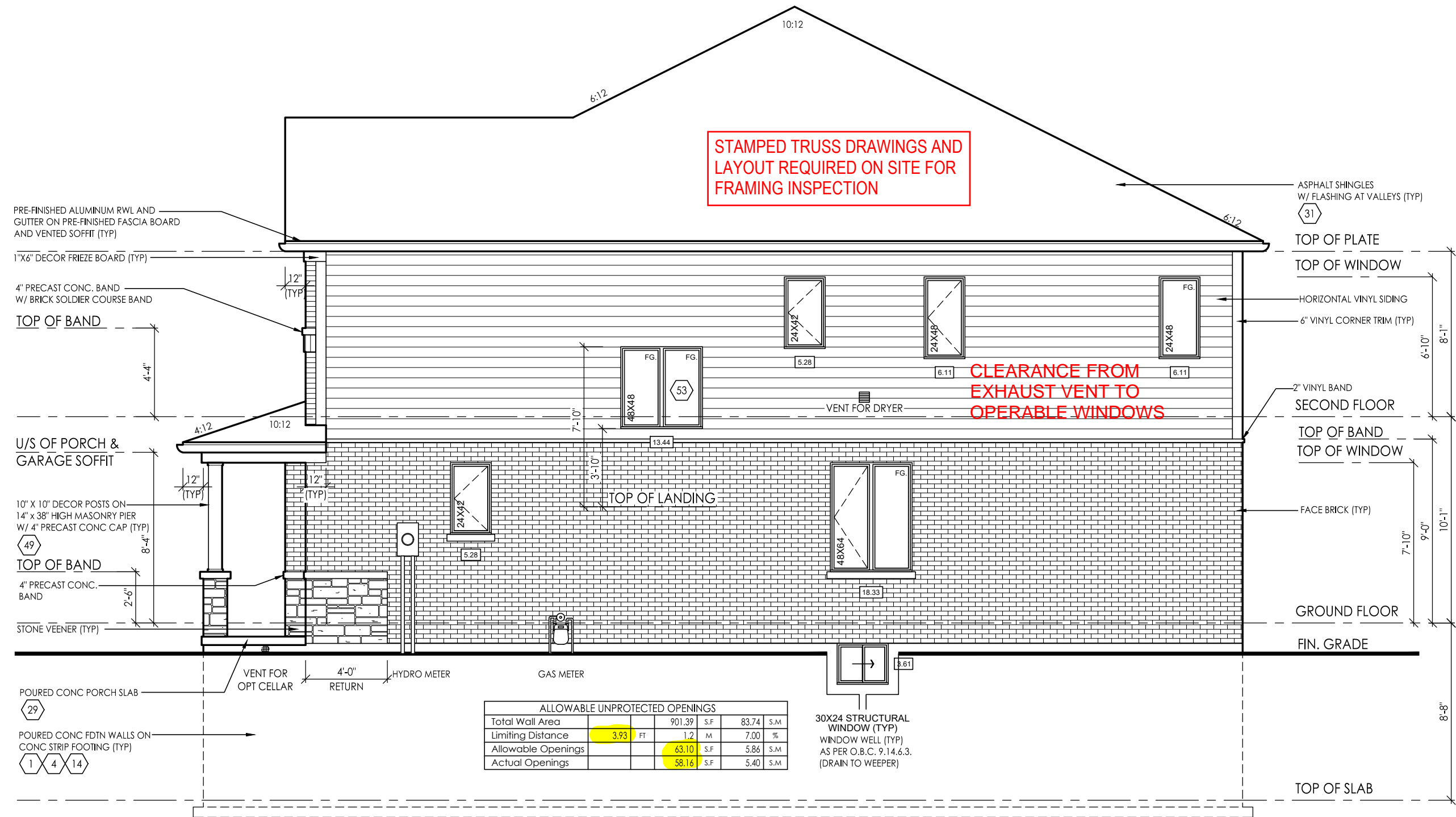
TOTAL GLAZING AREA	301.81 SF	28.04 m ²
TOTAL GLAZING PERCENTAGE	11.15 %	

GROSS GLAZING AREA-ELEV A4

TOTAL PERIPHERAL WALL AREA	2662.22 SF	247.33 m ²
FRONT GLAZING AREA	86.81 SF	8.07 m ²
LEFT SIDE GLAZING AREA	0.00 SF	0.00 m ²
RIGHT SIDE GLAZING AREA	72.33 SF	6.72 m ²
REAR GLAZING AREA	142.67 SF	13.25 m ²

TOTAL GLAZING AREA	301.81 SF	28.04 m ²
TOTAL GLAZING PERCENTAGE	11.34 %	

MINIMUM SETBACKS MET FOR FRONT, REAR AND SIDE YARDS. NO ENCROACHMENT OF MORE THEN 0.3m (1 FT) PERMITTED PAST MINIMUM YARD REQUIREMENTS.

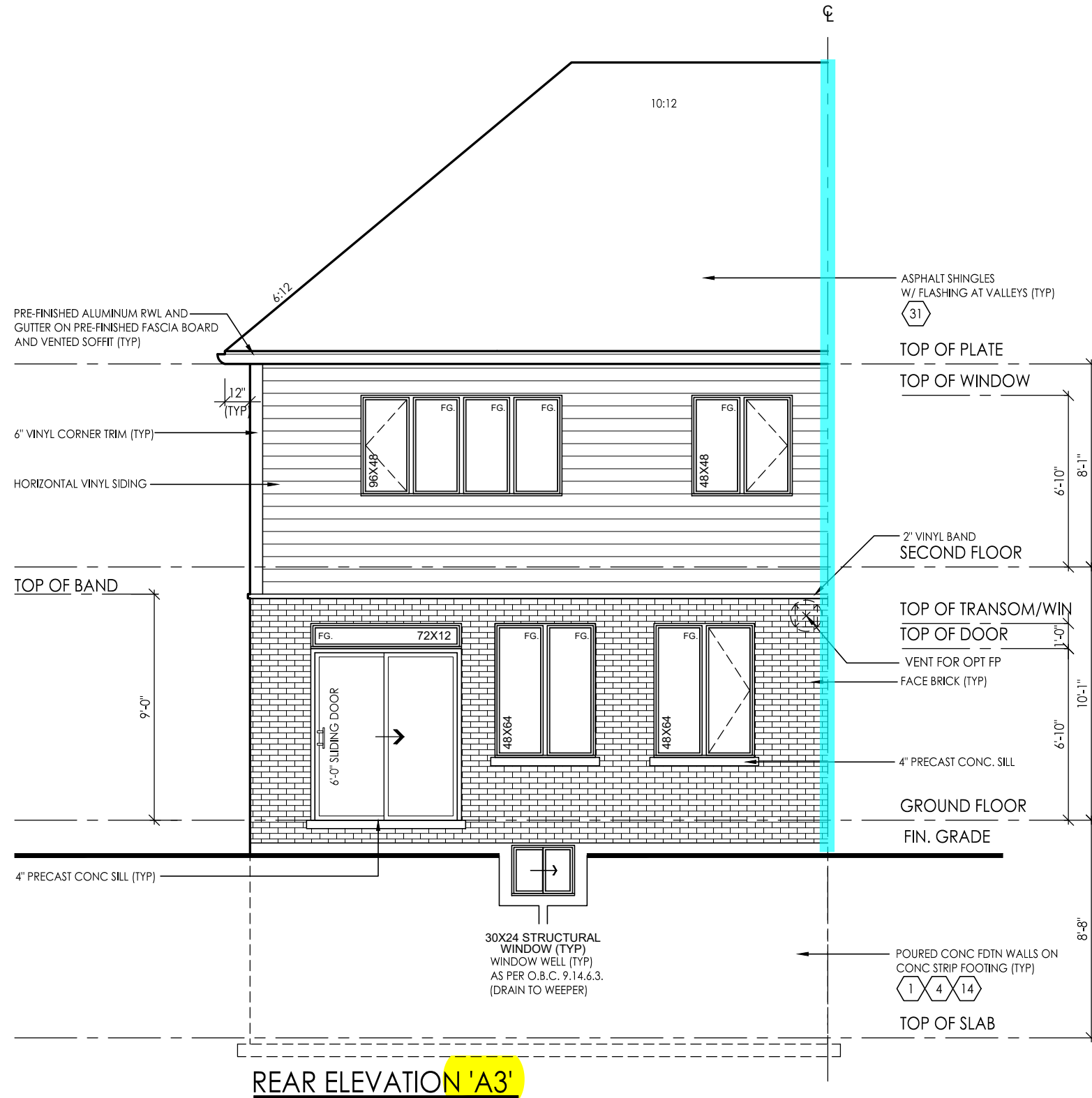


RIGHT SIDE ELEVATION 'A3' & 'A4'

client Tice River Homes
project Legacy
location Ayr
marketing name

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2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	20-JUL-18	WU	JM	10	ISSUED FOR PERMIT	13-NOV-23	KS	AD
4	REVISED FOR PERMIT	18-OCT-19	ES	ES					
5	REVISED PER CLIENT COMMENTS	29-APR-22	CK	DJH					

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
 QUALIFIED DESIGNER BCIN: 20888
 FIRM BCIN: 26995
 DATE: JANUARY-13-23
 SIGNATURE: _____



REAR ELEVATION 'A3'

- = A CONTINUOUS FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING AND MINIMUM 50 SOUND TRANSMISSION CLASS RATING REQUIRED.
- = A 45 MINUTE FIRE RESISTANCE RATING REQUIRED. NON-COMBUSTIBLE CLADDING REQUIRED



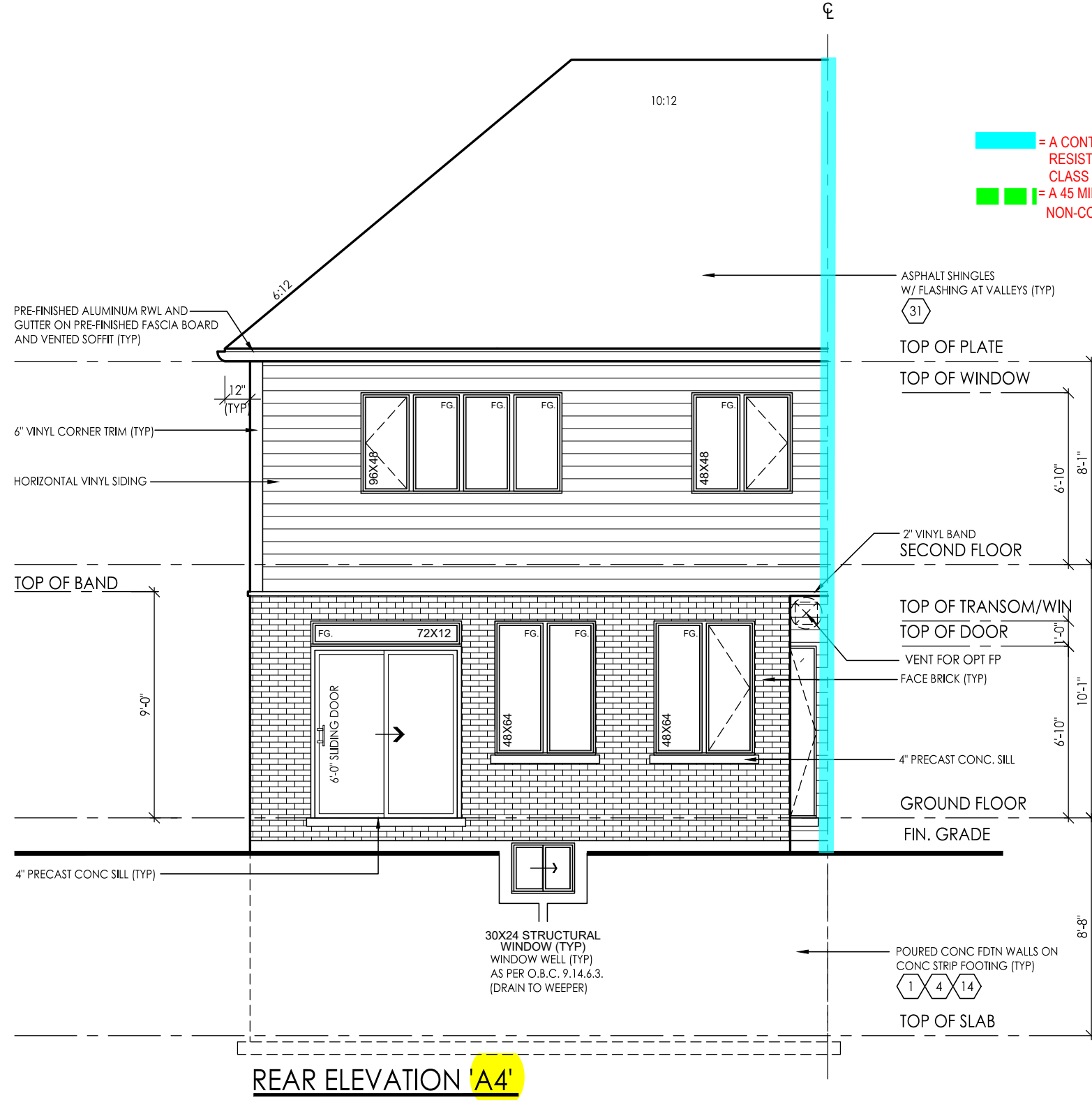
model TH-02
scale 3/16" = 1'0"
project # 17052

page A17

client Tice River Homes
location Ayr
project Legacy
marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	23-FEB-18	LO	JM	7	REVISED PER CLIENT COMMENTS	10-NOV-22	MD	AD
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	20-JUL-18	WU	JM	10	ISSUED FOR PERMIT	13-NOV-23	KS	AD
4	REISSUED FOR PERMIT	18-OCT-19	ES	ES					
5	REVISED PER CLIENT COMMENTS	29-APR-22	CK	DJH					

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 FIRM BCIN: 26995
 DATE: JANUARY-13-23
 SIGNATURE:



[Red Line] = A CONTINUOUS FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING AND MINIMUM 50 SOUND TRANSMISSION CLASS RATING REQUIRED.

[Green Line] = A 45 MINUTE FIRE RESISTANCE RATING REQUIRED. NON-COMBUSTIBLE CLADDING REQUIRED.

REAR ELEVATION 'A4'



model TH-02
scale 3/16" = 1'0"
project # 17052

page A18

client Tice River Homes
location Ayr
project Legacy
marking name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
7	REVISED PER CLIENT COMMENTS	10-Nov-23	MD	AD					
10	ISSUED FOR PERMIT	13-Jan-23	KS	AD					

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 20888
FIRM BCIN: 26995
DATE: JANUARY-13-23

SIGNATURE: _____



49 EXTERIOR COLUMN W/ MASONRY PIER:

-MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
-TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
-MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT.
-SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
-3/4" AIR SPACE AROUND POST.
OR
-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
-MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT.
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

FRAME CONSTRUCTION:

-ALL FRAMING LUMBER TO BE NO.1 AND NO. 2 SPF UNLESS NOTED OTHERWISE.
-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
-BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
-DOUBLE STUDS @ OPENINGS
-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
-BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS
-BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

49c EXTERIOR COLUMN:

-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

50 COLD CELLARS:

FOR COLD CELLARS PROVIDE THE FOLLOWING:
-VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
-COVER VENT W/ BUG SCREEN
-WALL MOUNTED LIGHT FIXTURE
-L1+L7 FOR DOOR OPENING
-2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ R20 (RSI 3.52) CONTINUOUS INSULATION (ZONE 1 OBC SB-12.3.1.1.2.A.)
-ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76) RIGID INSULATION W/ 2"x4"(38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION

WATERPROOF WALLS IN BATHROOMS:

-REQUIRED AS PER OBC 9.29.2.1.

WINDOWS:

-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
-AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
-FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

DRAIN WATER HEAT RECOVERY:

-DWHR UNITS TO BE INSTALLED AS PER OBC SB-12.3.1.1.1.(22) & 3.1.1.12. SENTENCES (1) TO (6)
-DWHR ARE REQUIRED IN ALL DWELLING UNITS TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST 2 SHOWERS WHERE THERE ARE 2 OR MORE SHOWERS PROVIDED THERE IS A CRAWL SPACE OR STOREY BELOW THE SHOWERS.

51 STUD WALL REINFORCEMENT:

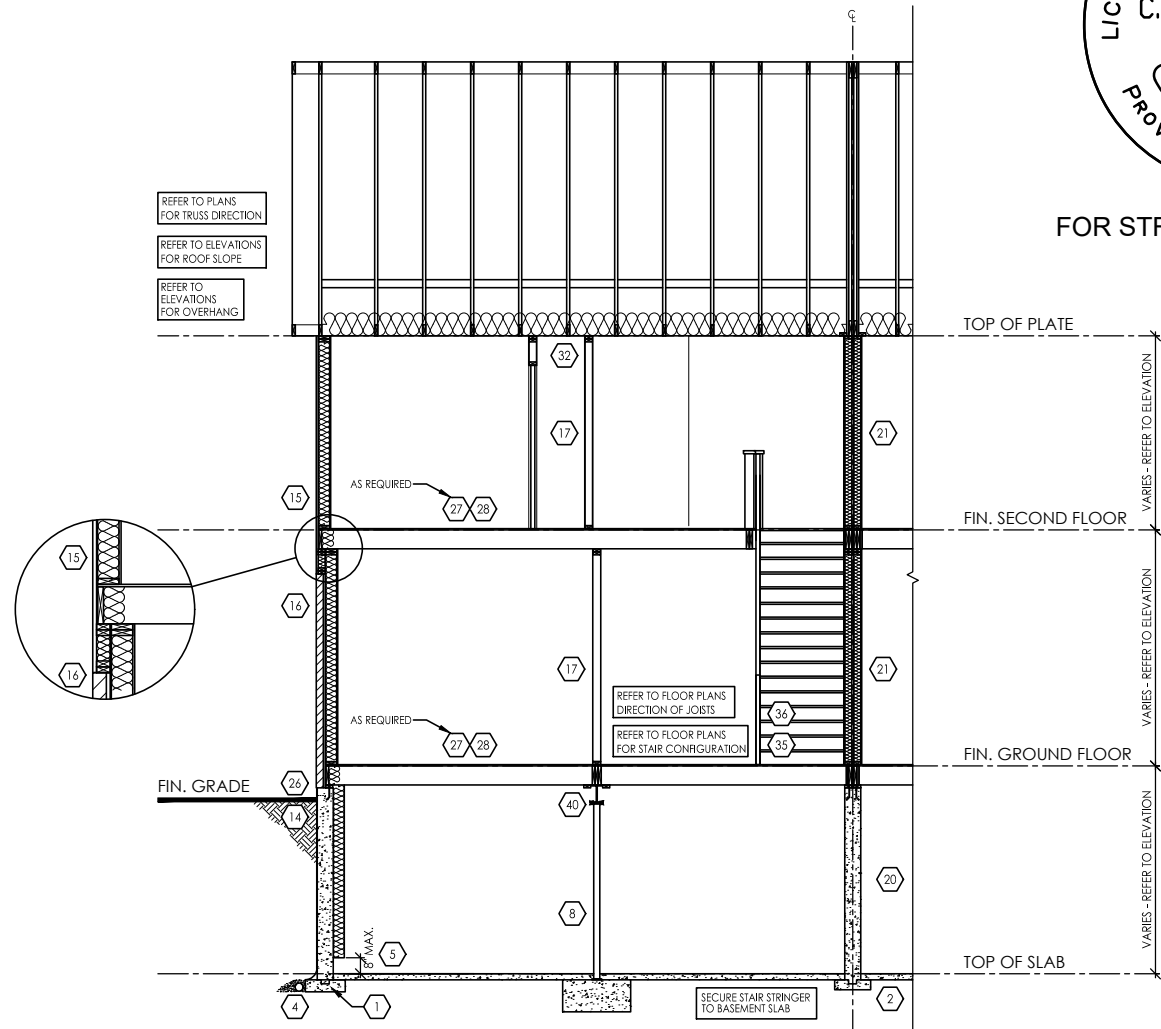
O.B.C. 9.5.2.3.
-WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)
-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

53 WINDOW GUARDS:

@ STAIRS, LANDINGS & RAMPS - OBC 9.8.8.1.(8)
WINDOW SILL AT 3'-0" (900mm) OR GREATER DOES NOT REQUIRE GUARDS
@ FLOORS - OBC 9.8.8.1.(6)
WINDOWS LESS THAN 1'-7" (480mm) ABOVE FLOORS WHERE ADJACENT GRADE IS GREATER THAN 5'-11" (1800mm) REQUIRE A GUARD PER OBC 9.8.8.2.
-OR -
WINDOW TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND LATERAL LOADS PER OBC 9.8.8.1.(8)(b)



FOR STRUCTURAL ITEMS ONLY



TYPICAL CROSS SECTION - TOWN HOUSE (BRICK & SIDING) N.T.S.

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

CLIENT SPECIFIC REVISIONS

SCHEDULES

Table with 2 columns: DOORS (A-G) and their dimensions/specifications.

Table with 2 columns: STEEL BEAMS (ST1-ST5) and their dimensions/specifications.

Table with 3 columns: WOOD BEAMS (WD1-WD17), LINTELS (L1-L13), and their dimensions/specifications.

PLAN/ELEVATION LEGEND

Legend containing symbols and descriptions for various building components like smoke alarm, waterproof outlet, vents, hose bib, exhaust fan, cold cellar vent, stove vent, fire place vent, dryer vent, carbon monoxide alarm, double joist, pressure treated lumber, girder truss, above finished floor, beam by floor manuf flush, dropped, repeat same joist size, under side, fixed glazing, glass block, black glass, floor drain, solid bearing, point load, flat arch, ext. light fixture, hydro meter, gas meter.

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DATE: JANUARY-13-23

SIGNATURE: [Handwritten Signature]

Client information: Tice River Homes, Legacy, location Ayr. Includes a table of revisions with columns for #, revisions, date, dwn, chk, #, revisions, date, dwn, chk.



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model TH-02
scale 3/16" = 1'0"
project # 17052

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