

FRONT ELEVATION 'A1'



FRONT ELEVATION 'A2'



FRONT ELEVATION 'A3' & 'A4'

## Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV 'A1'
- A2 GROUND FLOOR ELEV 'A1'
- A3 SECOND FLOOR ELEV 'A1'
- A4 PARTIAL SECOND FLOOR ELEV 'A1', 'A2', 'A3' & 'A4'  
W/ OPTIONAL ENSUITE LAYOUT
- A5 BASEMENT FLOOR ELEV 'A2'
- A6 GROUND FLOOR ELEV 'A2'
- A7 SECOND FLOOR ELEV 'A2'
- A8 BASEMENT FLOOR END CONDITION ELEV 'A3'
- A9 GROUND FLOOR END CONDITION ELEV 'A3'
- A10 SECOND FLOOR END CONDITION ELEV 'A3' & 'A4'
- A11 BASEMENT FLOOR END CONDITION ELEV 'A4'
- A12 GROUND FLOOR END CONDITION ELEV 'A4'
- A13 FRONT ELEVATION 'A1'
- A14 ROOF PLAN ELEV 'A1'
- A15 REAR ELEVATION 'A1' & 'A2'
- A16 FRONT ELEVATION 'A2'
- A17 ROOF PLAN ELEV 'A2'
- A18 FRONT ELEVATION 'A3' & 'A4'
- A19 ROOF PLAN ELEV 'A3' & 'A4'
- A20 RIGHT SIDE ELEVATION 'A3' & 'A4'
- A21 REAR ELEVATION 'A3'
- A22 REAR ELEVATION 'A4'
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

THE FLOOR AND TRUSS LAYOUTS PROVIDED BY THE MANUFACTURER HAVE BEEN REVIEWED, APPROVED AND COORDINATED ON THE WORKING DRAWING PLANS PROVIDED BY RN DESIGN

THE FINAL GRADING OF THIS PROPERTY SHALL NOT ADVERSELY EFFECT THE DRAINAGE OF ADJACENT PROPERTIES OR THE OVERALL GRADING CONTROL PLAN.

PERMIT APPROVAL DOCUMENTS TO BE KEPT ON SITE AT ALL TIMES FOR INSPECTION

IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS ARE FOR YOUR INFORMATION AND ASSISTANCE ONLY AND DO NOT NECESSARILY COMMENT ON ALL AREAS OF CONSTRUCTION.

## Areas:

	ELEVATION 'A1'		ELEVATION 'A2'		ELEVATION 'A3'		ELEVATION 'A4'	
	SF	SM	SF	SM	SF	SM	SF	SM
GROUND FLOOR	762.6	70.8	774.7	72.0	811.3	75.4	774.7	72.0
SECOND FLOOR	1020.7	94.8	1043.7	97.0	1033.2	96.0	1033.2	96.0
<b>TOTAL AREA</b>	<b>1783.3</b>	<b>165.7</b>	<b>1818.4</b>	<b>168.9</b>	<b>1844.5</b>	<b>171.4</b>	<b>1807.9</b>	<b>168.0</b>
COVERAGE INC PORCH	1100.2	102.2	1100.2	102.2	1139.7	105.9	1100.2	102.2
COVERAGE NOT INC PORCH	1015.0	94.3	1026.3	95.3	1065.8	99.0	1026.3	95.3

# Tice River Homes

# Legacy

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 20888  
FIRM BCIN: 26995  
DATE: JANUARY-13-23

SIGNATURE:

client  
Tice River Homes

project  
Legacy

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	23-FEB-18	LO	JM	6	REVISED PER TRUSS COORDINATION	31-Oct-22	MD	AD
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	20-JUL-18	WU	JM	7	REVISED PER CLIENT COMMENTS	10-Nov-22	MD	AD
3	MADE ELEV 'A-2' FULL PLANS PER CITY COMMENTS	4-Oct-19	KC	ES	8	REV PER ENG COMMENTS	22-DEC-22	MD	AD
4	RE-ISSUED FOR PERMIT	18-Oct-19	ES	ES	9	REVISED PER ADDITIONAL ENG COMMENTS	12-Jan-23	MD	AD
5	REVISED PER CLIENT COMMENTS	29-APR-22	CR	DJH	10	ISSUED FOR PERMIT	13-Jan-23	KS	AD

location  
Ayr

marketing name



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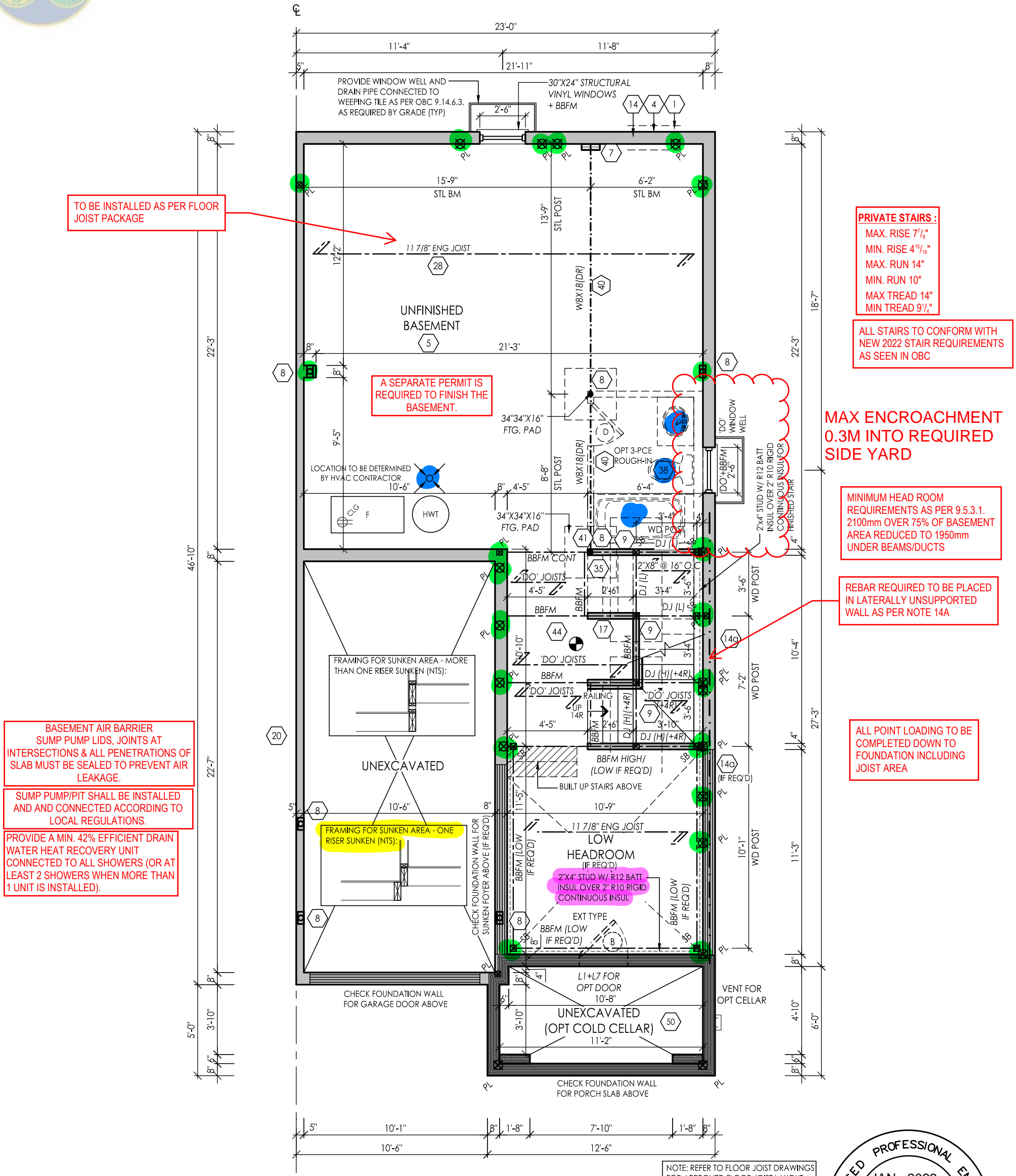
model  
TH-02

scale  
3/16" = 1'0"

project #  
17052

page

# A0



**BASEMENT FLOOR END CONDITION ELEV 'A3'**



FOR STRUCTURAL ITEMS ONLY

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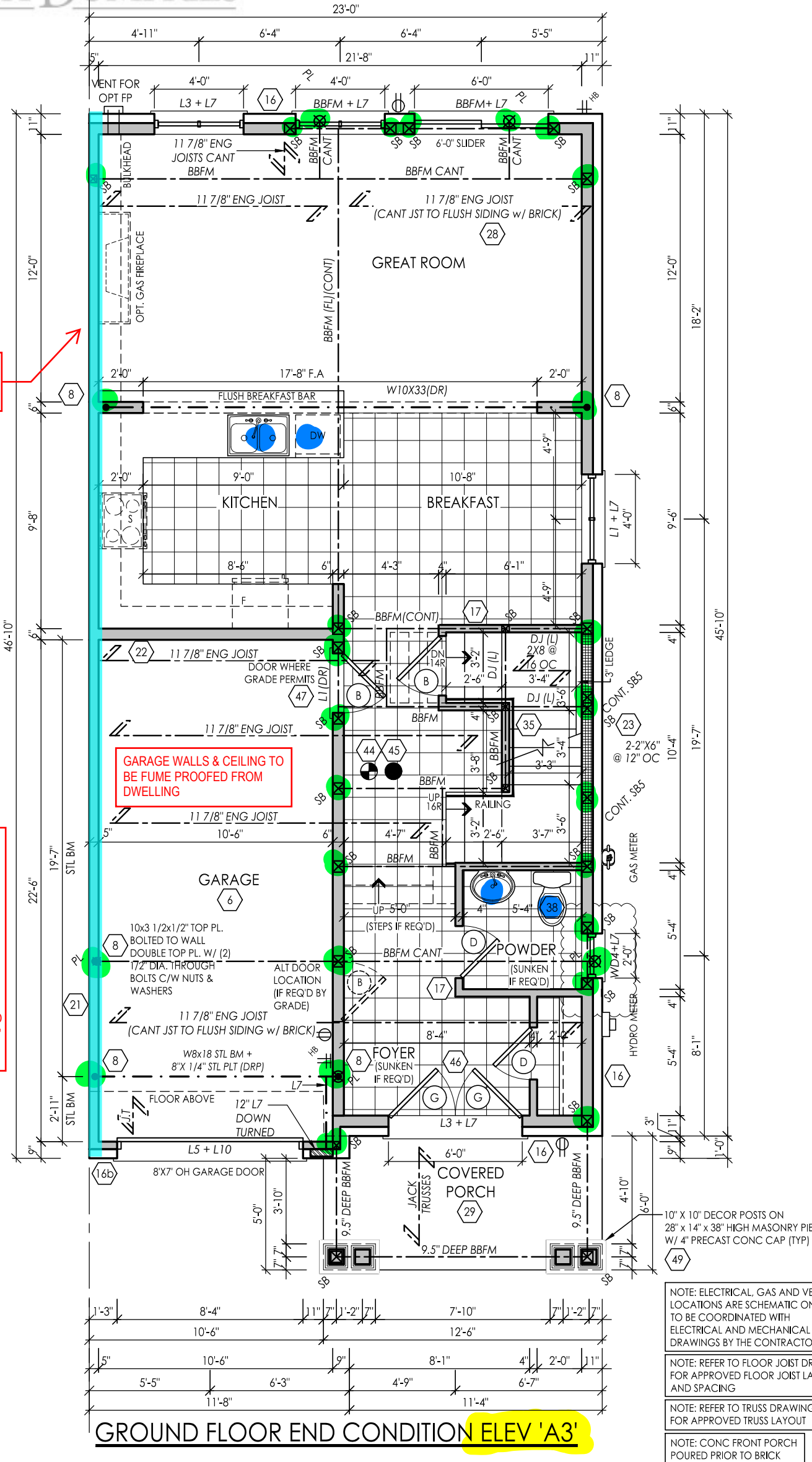
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project	Legacy	marketing name							
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model TH-02 scale 3/16" = 1'0" project # 17052

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NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK

W13A WALL TO BE CONSTRUCTED AS PER NOTE 21 STC 57 1 HR PARTY WALL

**PRIVATE STAIRS:**  
MAX. RISE 7 7/8"  
MIN. RISE 4 15/16"  
MAX. RUN 14"  
MIN. RUN 10"  
MAX TREAD 14"  
MIN TREAD 9 1/4"

ALL STAIRS TO CONFORM WITH NEW 2022 STAIR REQUIREMENTS AS SEEN IN OBC

PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAXIMUM 4" WHEN DOOR SILL EXCEEDS 24" ABOVE GRADE.

AN EXTERIOR LIGHT IS REQUIRED AT ALL ENTRANCES TO THE DWELLING UNIT

GUARDS CONFORMING TO SB-7 AND 9.8.8. ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE

ALL GUARDS MUST BE NON-CLIMBABLE WITH NO HORIZONTAL MEMBERS BETWEEN 5 1/2" AND 35" ABOVE THE FLOOR OR WALKING SURFACE

GARAGE WALLS & CEILING TO BE FUME PROOFED FROM DWELLING



FOR STRUCTURAL ITEMS ONLY

**■** = A CONTINUOUS FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING AND MINIMUM 50 SOUND TRANSMISSION CLASS RATING REQUIRED.

**■ ■** = A 45 MINUTE FIRE RESISTANCE RATING REQUIRED. NON-COMBUSTIBLE CLADDING REQUIRED

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DATE: JANUARY-13-23

client	Tice River Homes					location	Ayr				
project	Legacy					marketing name					
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					10	ISSUED FOR PERMIT				13-Jan-23 KS AD	



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project # 17052

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W13A WALL TO BE CONSTRUCTED AS PER NOTE 21  
STC 57 1 HR PARTY WALL

**PRIVATE STAIRS:**  
MAX. RISE 7 1/8"  
MIN. RISE 4 15/16"  
MAX. RUN 14"  
MIN. RUN 10"  
MAX TREAD 14"  
MIN TREAD 9 1/4"

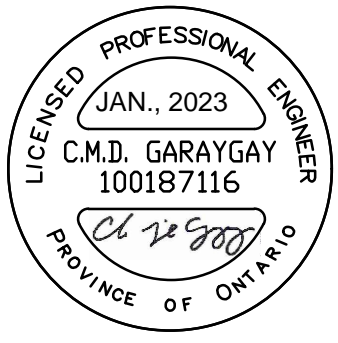
ALL STAIRS TO CONFORM WITH NEW 2022 STAIR REQUIREMENTS AS SEEN IN OBC

SHARED ROOF AREA REQUIRED TO HAVE ATTIC SEPARATION CONTINUED TO EAVE

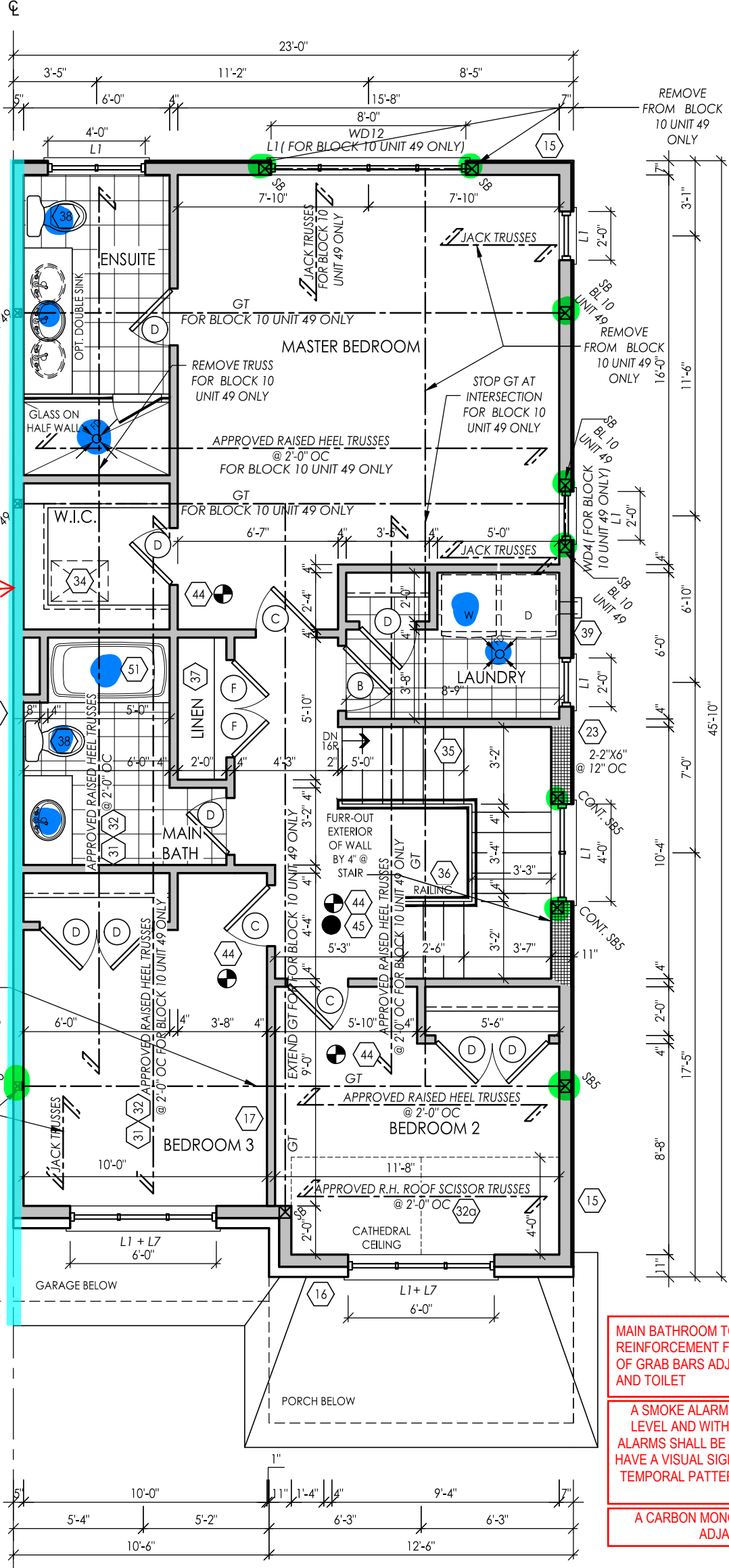
MAIN BATHROOM TO HAVE STUD WALL REINFORCEMENT FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET

A SMOKE ALARM SHALL BE INSTALLED ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 18.5.3. OF NFPA 72.

A CARBON MONOXIDE DETECTOR SHALL BE LOCATED ADJACENT TO SLEEPING AREAS



FOR STRUCTURAL ITEMS ONLY



SECOND FLOOR END **CONDITION ELEV 'A3' & 'A4'**

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

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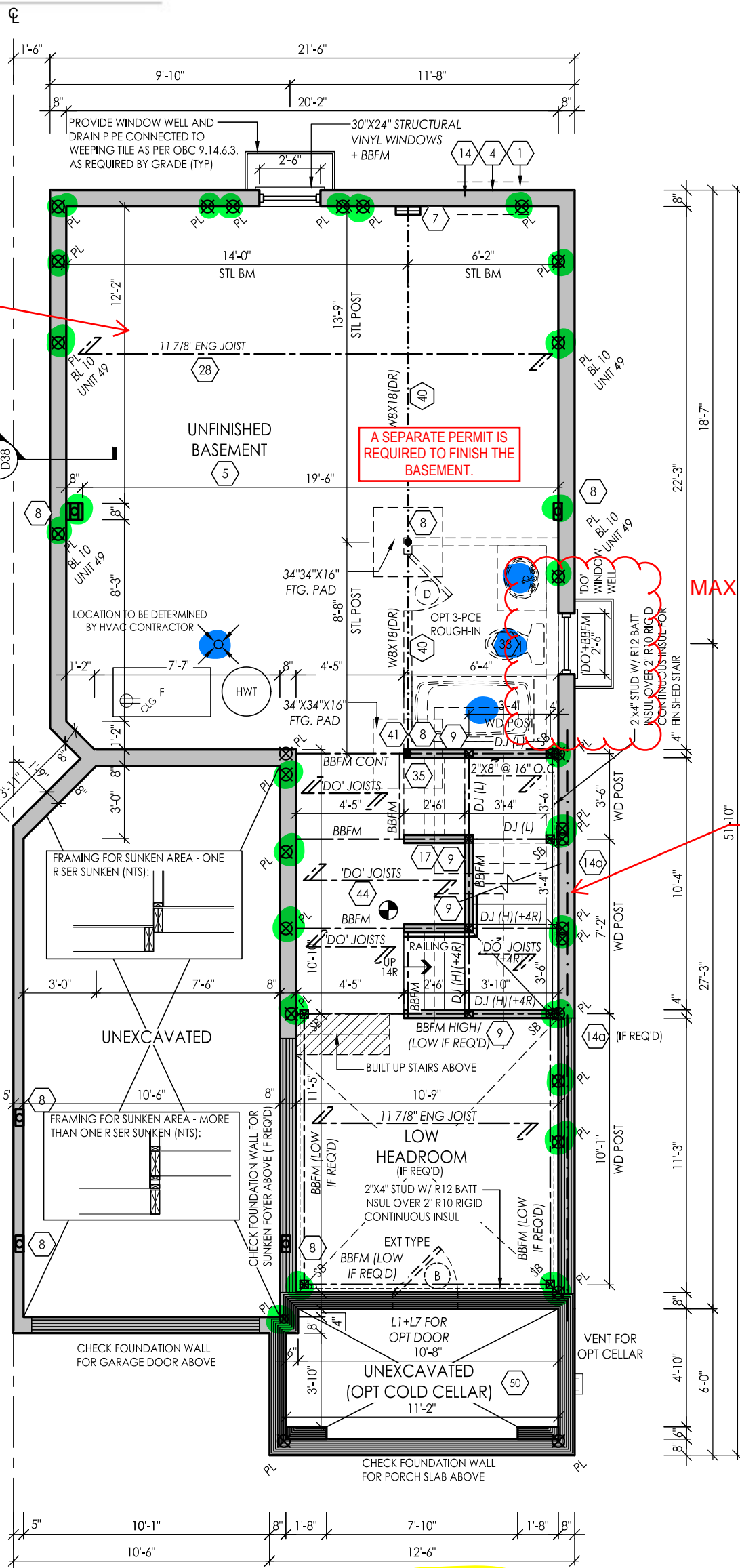
SIGNATURE:

client	Tice River Homes					location	Ayr				
project	Legacy					marketing name					
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk	#	
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						10	ISSUED FOR PERMIT			13-Jan-23	



model TH-02  
scale 3/16" = 1'0"  
project # 17052

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TO BE INSTALLED AS PER FLOOR JOIST PACKAGE

A SEPARATE PERMIT IS REQUIRED TO FINISH THE BASEMENT.

PRIVATE STAIRS :  
MAX. RISE 7 7/8"  
MIN. RISE 4 15/16"  
MAX. RUN 14"  
MIN. RUN 10"  
MAX TREAD 14"  
MIN TREAD 9 1/4"

ALL STAIRS TO CONFORM WITH NEW 2022 STAIR REQUIREMENTS AS SEEN IN OBC

MAX 0.3M ENCROACHMENT

MINIMUM HEAD ROOM REQUIREMENTS AS PER 9.5.3.1. 2100mm OVER 75% OF BASEMENT AREA REDUCED TO 1950mm UNDER BEAMS/DUCTS

REBAR REQUIRED TO BE PLACED IN LATERALLY UNSUPPORTED WALL AS PER NOTE 14A

ALL POINT LOADING TO BE COMPLETED DOWN TO FOUNDATION INCLUDING JOIST AREA

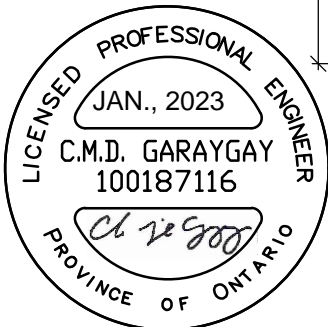
BASEMENT AIR BARRIER SUMP PUMP LIDS, JOINTS AT INTERSECTIONS & ALL PENETRATIONS OF SLAB MUST BE SEALED TO PREVENT AIR LEAKAGE.

SUMP PUMP/PIT SHALL BE INSTALLED AND CONNECTED ACCORDING TO LOCAL REGULATIONS.

PROVIDE A MIN. 42% EFFICIENT DRAIN WATER HEAT RECOVERY UNIT CONNECTED TO ALL SHOWERS (OR AT LEAST 2 SHOWERS WHEN MORE THAN 1 UNIT IS INSTALLED).

BASEMENT FLOOR END CONDITION ELEV 'A4'

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING



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client Tice River Homes

location Ayr

project Legacy

marketing name

Table with 5 columns: #, revisions, date, dwn, chk, #, revisions, date, dwn, chk. Contains 5 rows of revision history.



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model TH-02

scale 3/16" = 1'0"

project # 17052

page

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SECOND FLOOR ABOVE REQUIRED TO MAINTAIN MINIMUM 1 HR FIRE SEPARATION OVER BREEZEWAY

PRIVATE STAIRS: MAX. RISE 7 7/8" MIN. RISE 4 15/16" MAX. RUN 14" MIN. RUN 10" MAX TREAD 14" MIN TREAD 9 1/4"

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PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAXIMUM 4" WHEN DOOR SILL EXCEEDS 24" ABOVE GRADE.

AN EXTERIOR LIGHT IS REQUIRED AT ALL ENTRANCES TO THE DWELLING UNIT

GUARDS CONFORMING TO SB-7 AND 9.8.8. ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE

ALL GUARDS MUST BE NON-CLIMBABLE WITH NO HORIZONTAL MEMBERS BETWEEN 5 1/2" AND 35" ABOVE THE FLOOR OR WALKING SURFACE

10x3 1/2x1 1/2" TOP PL. BOLTED TO WALL DOUBLE TOP PL. W/ (2) 1/2" DIA. THROUGH BOLTS C/W NUTS & WASHERS REMOVE PL FROM BLOCK 10 UNIT 49 ONLY

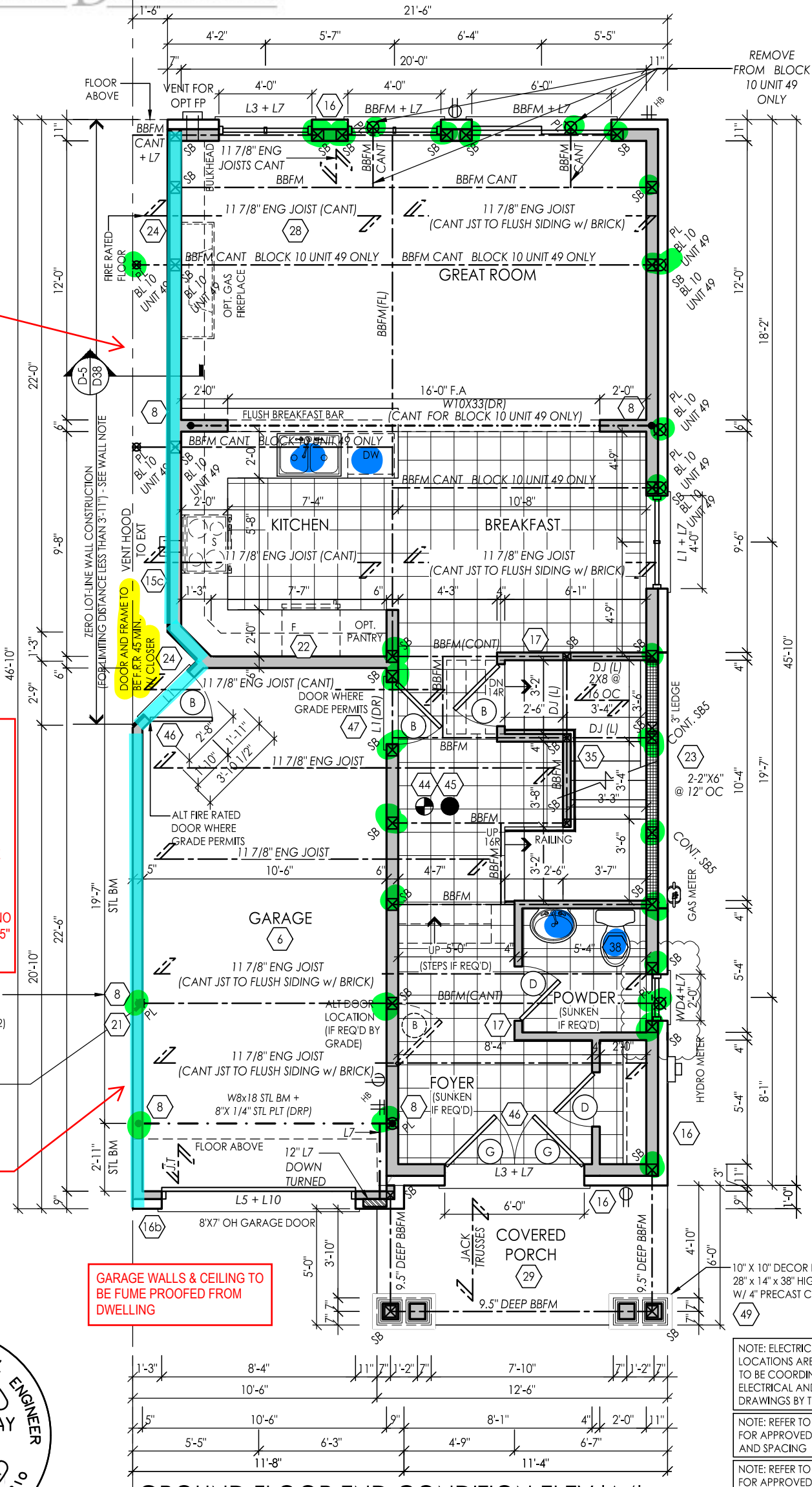
W13A WALL TO BE CONSTRUCTED AS PER NOTE 21 STC 57 1 HR PARTY WALL

GARAGE WALLS & CEILING TO BE FUME PROOFED FROM DWELLING



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GROUND FLOOR END CONDITION ELEV 'A4'

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NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK

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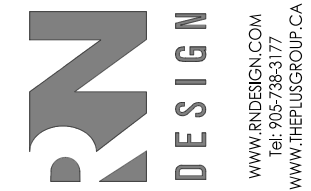
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Project information including location 'Ayr', marketing name, model 'TH-02', scale '3/16" = 1/0"', project # '17052', and large text 'A11'.



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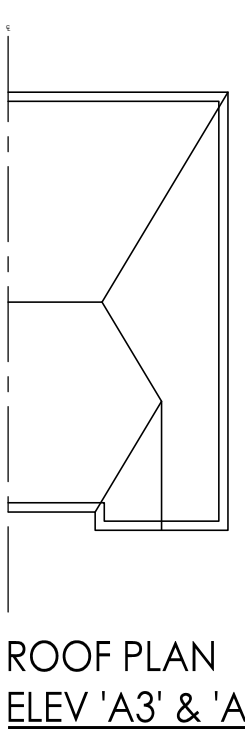




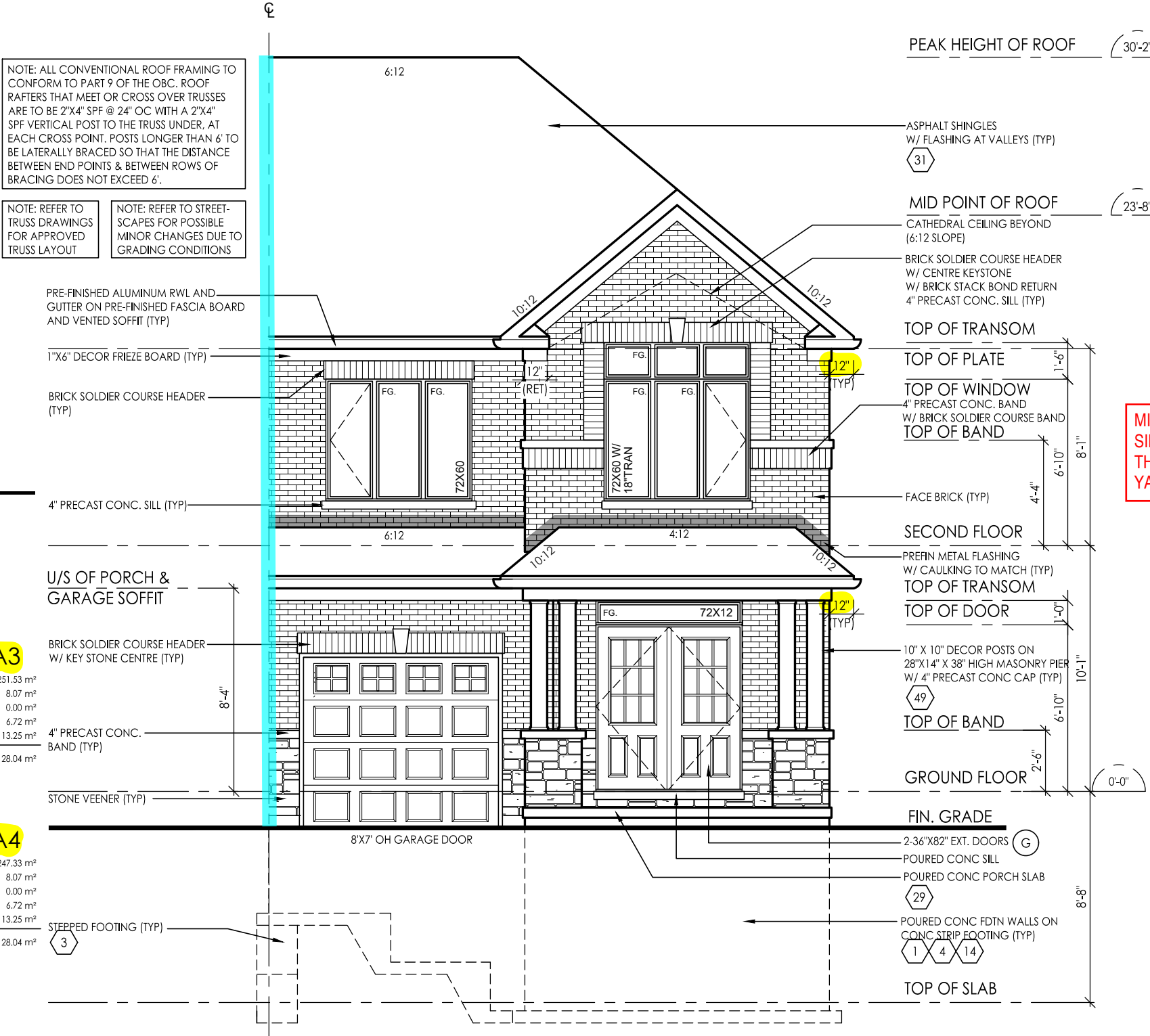
location **Ayr**  
client **Tice River Homes**  
project **Legacy**

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
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ROOF PLAN  
ELEV 'A3' & 'A4'



FRONT ELEVATION 'A3' & 'A4'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

MINIMUM SETBACKS MET FOR FRONT, REAR AND SIDE YARDS. NO ENCROACHMENT OF MORE THEN 0.3m (1 FT) PERMITTED PAST MINIMUM YARD REQUIREMENTS.

**GROSS GLAZING AREA-ELEV A3**

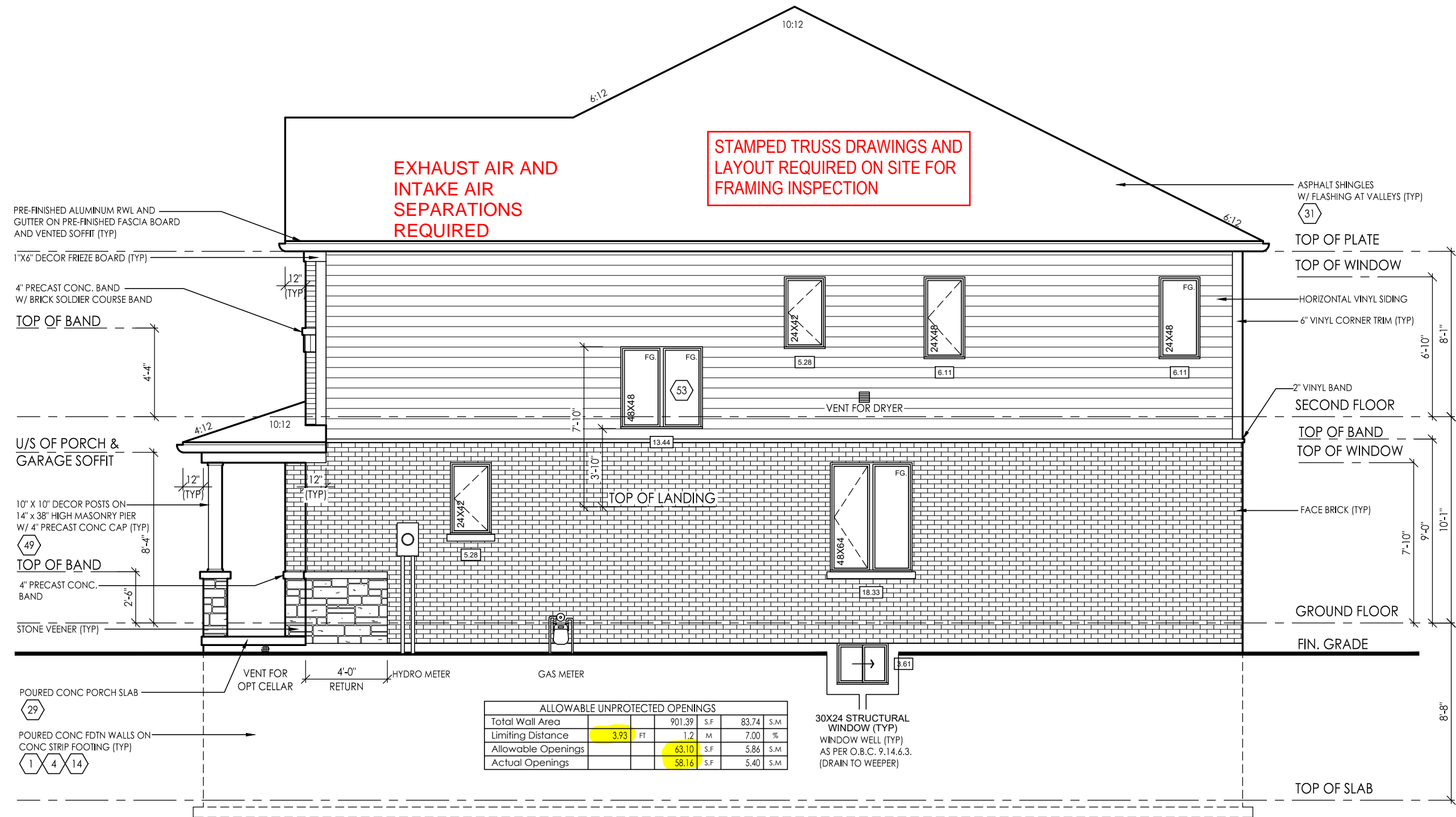
TOTAL PERIPHERAL WALL AREA	2707.46 SF	251.53 m <sup>2</sup>
FRONT GLAZING AREA	86.81 SF	8.07 m <sup>2</sup>
LEFT SIDE GLAZING AREA	0.00 SF	0.00 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	72.33 SF	6.72 m <sup>2</sup>
REAR GLAZING AREA	142.67 SF	13.25 m <sup>2</sup>

TOTAL GLAZING AREA	301.81 SF	28.04 m <sup>2</sup>
TOTAL GLAZING PERCENTAGE	11.15 %	

**GROSS GLAZING AREA-ELEV A4**

TOTAL PERIPHERAL WALL AREA	2662.22 SF	247.33 m <sup>2</sup>
FRONT GLAZING AREA	86.81 SF	8.07 m <sup>2</sup>
LEFT SIDE GLAZING AREA	0.00 SF	0.00 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	72.33 SF	6.72 m <sup>2</sup>
REAR GLAZING AREA	142.67 SF	13.25 m <sup>2</sup>

TOTAL GLAZING AREA	301.81 SF	28.04 m <sup>2</sup>
TOTAL GLAZING PERCENTAGE	11.34 %	



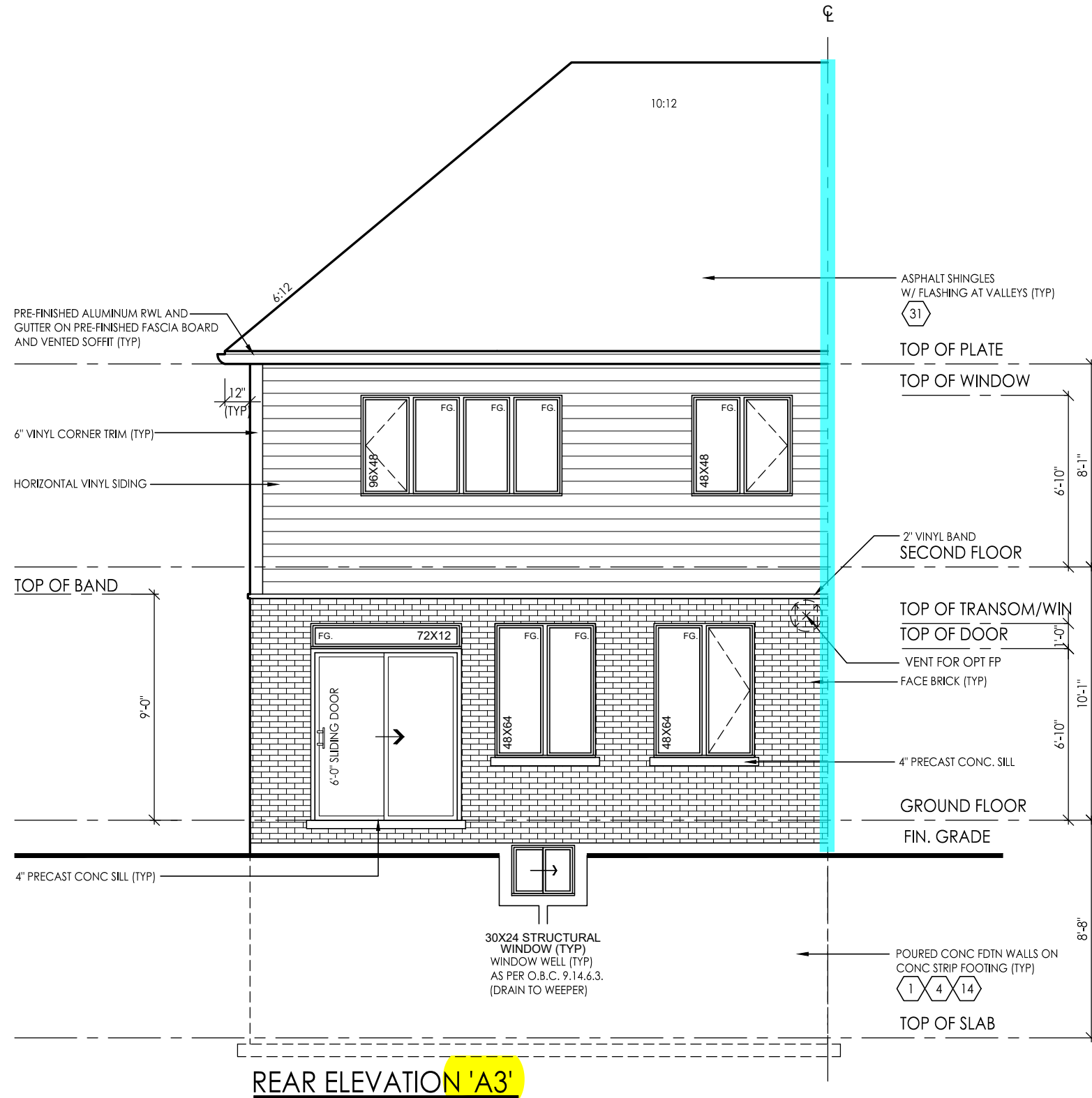
**RIGHT SIDE ELEVATION 'A3' & 'A4'**

client Tice River Homes  
project Legacy  
location Ayr  
marketing name

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REAR ELEVATION 'A3'

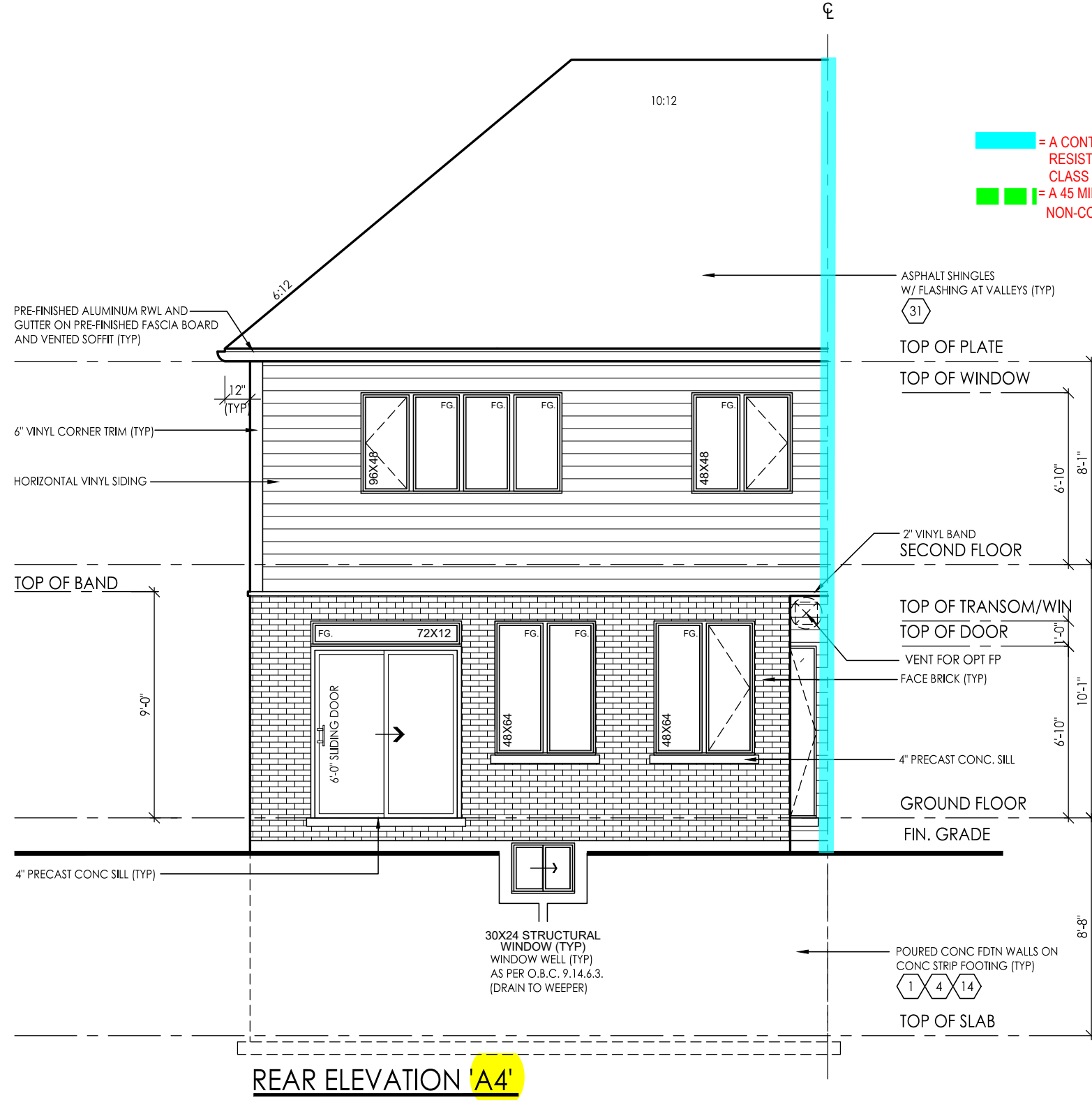
- = A CONTINUOUS FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING AND MINIMUM 50 SOUND TRANSMISSION CLASS RATING REQUIRED.
- = A 45 MINUTE FIRE RESISTANCE RATING REQUIRED. NON-COMBUSTIBLE CLADDING REQUIRED



client: Tice River Homes  
location: Ayr  
project: Legacy

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	23-FEB-18	LO	JM	7	REVISED PER CLIENT COMMENTS	10-NOV-22	MD	AD
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	20-JUL-18	WU	JM	10	ISSUED FOR PERMIT	13-NOV-23	KS	AD
4	REISSUED FOR PERMIT	18-OCT-19	ES	ES					
5	REVISED PER CLIENT COMMENTS	29-APR-22	CK	DJH					

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 20888  
 FIRM BCIN: 26995  
 DATE: JANUARY-13-23  
 SIGNATURE:



**[Red Line]** = A CONTINUOUS FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING AND MINIMUM 50 SOUND TRANSMISSION CLASS RATING REQUIRED.

**[Green Line]** = A 45 MINUTE FIRE RESISTANCE RATING REQUIRED. NON-COMBUSTIBLE CLADDING REQUIRED.

REAR ELEVATION 'A4'



model TH-02  
scale 3/16" = 1'0"  
project # 17052

page A18

client Tice River Homes  
project Legacy  
location Ayr  
marking name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
7	REVISED PER CLIENT COMMENTS	10-Nov-23	MD	AD					
10	ISSUED FOR PERMIT	13-Jan-23	KS	AD					

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 20888  
FIRM BCIN: 26995  
DATE: JANUARY-13-23

SIGNATURE: \_\_\_\_\_





22a **WALLS ADJACENT TO ATTIC SPACE:**  
-1/2" (12.7mm) GYPSUM BOARD  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4.  
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.  
-R22 (RSI 3.87) INSULATION  
-1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.  
-ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

23 **DOUBLE VOLUME WALLS:**  
O.B.C. 9.23.10.1.  
-3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING  
-REFER TO PLAN FOR STUD SPECIFICATION  
-STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS  
-DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.  
-SOLID BRIDGING AT 3'-11" (1200mm) O.C.  
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12 T.3.1.1.2.A.)  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

24 **EXPOSED FLOOR:**  
-1 HR FRR 21.8psi  
-FLOOR AS PER NOTE #28  
-CONTINUOUS AIR/VAPOR BARRIER IN CONFORMANCE W/ O.B.C 9.25.3 & 9.25.4  
-R31 (RSI 5.46) INSULATION  
-2 LAYERS 5/8" TYPE X GYPSUM BOARD  
-ALUMINUM SOFFIT

24a **SUNKEN FINISHED AREAS:**  
-USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.  
-WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.  
-FLOOR STRUCTURE AS PER NOTE # 28.

25 **DOUBLE MASONRY WYTHE WALL:**  
O.B.C. 9.20.8.2.  
-3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER  
-WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.  
-SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS  
-6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.  
NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.

25a **CORBEL MASONRY VENEER:**  
-MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)

**FLOOR ASSEMBLIES:**  
26 **SILL PLATE:**  
O.B.C. 9.23.7.  
-2" X 4" (38mm X 89mm) PLATE  
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.  
-SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSIONING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

27 **BRIDGING & STRAPPING:**  
O.B.C. 9.23.9.4.  
a) STRAPPING  
-1" X 3" (19mm X 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.  
-FASTENED TO SILL OR HEADER @ ENDS  
b) BRIDGING  
-1" X 3" (19mm X 64mm) OR 2" X 2" (38mm X 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.  
c) BRIDGING & STRAPPING  
-a) & b) USED TOGETHER OR  
-1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)  
d) FURRING OR PANEL TYPE CEILING  
-STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

28 **FLOOR ASSEMBLY:**  
O.B.C. 9.23.14.3, 9.23.14.4  
-5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT  
-FLOOR JOISTS AS PER FLOOR PLANS

29 **PORCH SLAB:**  
O.B.C. 9.39.1.4.  
-4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT  
-REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY  
-1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB  
-3" (75mm) END BEARING ON FOUNDATION WALL  
-23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.  
-IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION WALLS NOT TO EXCEED 8'-2"

30 **EXTERIOR BALCONY ASSEMBLY:**  
-1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING  
-2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)  
- EXTERIOR GUARD AS PER #36a  
-SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER  
**REQUIRED FOR OVER HEATED SPACES:**  
-ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)  
-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS  
-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.  
-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR  
-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-T.9.29.5.3.)

30a **EXTERIOR FLAT ROOF ASSEMBLY:**  
-SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
-1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.  
-3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON  
-2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)  
**REQUIRED FOR OVER HEATED SPACES:**  
-ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)  
-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS  
-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.  
-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR  
-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

◆ CLIENT SPECIFIC REVISIONS

**ROOF ASSEMBLIES**  
31 **TYPICAL ROOF:**  
O.B.C. 9.26.  
-NO. 210 (30.5KG/m2) ASPHALT SHINGLES  
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.  
-EAVES PROTECTION LAID BENEATH STARTER STRIP.  
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.  
-STARTER STRIP AS PER O.B.C. 9.26.7.2.  
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)  
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS  
-APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)  
-TRUSS BRACING AS PER TRUSS MANUFACTURER  
-EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)  
-ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

32 **CEILING:**  
-R60 (RSI 10.56) INSULATION  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.  
-1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR  
-5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

32a **VAULTED OR CATHEDRAL CEILING:**  
O.B.C. 9.26. & TABLE A4  
-NO. 210 (30.5KG/m2) ASPHALT SHINGLES  
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.  
-EAVES PROTECTION LAID BENEATH STARTER STRIP.  
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.  
-STARTER STRIP AS PER O.B.C. 9.26.7.2.  
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)  
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.  
-2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR  
-2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)  
-R31 (RSI 5.46) INSULATION  
-MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.  
-1/2" (12.7mm) GYPSUM BOARD

33 **CONVENTIONAL FRAMING:**  
O.B.C. TABLE A6 OR A7  
-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)  
-2"x4" (38mm X 89mm) COLLAR TIES AT MIDSPANS  
-CEILING JOISTS TO BE 2" X 6" (38mm X 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.  
-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

34 **ATTIC ACCESS HATCH:**  
OBC 9.19.2.1. & SB-12 3.1.1.8.(1)  
-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

**GENERAL:**  
35 **PRIVATE STAIRS:**  
O.B.C. 9.8.4.  
-MAX. RISE = 7-7/8" (200mm)  
-MIN. RUN = 8-1/4" (210mm)  
-MIN. TREAD = 9-1/4" (235mm)  
-MAX. NOSING = 1" (25mm)  
-MIN. HEADROOM = 6'-5" (1950mm)  
-MIN. WIDTH = 2'-10" (860mm)  
(BETWEEN WALL FACES)  
-MIN. WIDTH = 2'-11" (900mm)  
(EXIT STAIRS, BETWEEN GUARDS)  
-ANGLED TREADS:  
-MIN. RUN = 5 7/8" (150mm)  
-MIN. AVG. RUN = 7 7/8" (200mm)

-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS  
-EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE  
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2  
-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

**HANDRAILS:**  
O.B.C. 9.8.7  
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)  
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)  
-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS  
-HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOOR WAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION  
**HEIGHT:**  
O.B.C. 9.8.7.4  
-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.  
-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS  
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

**PROJECTIONS:**  
O.B.C. 9.8.7.6  
-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR



FOR STRUCTURAL ITEMS ONLY

35a **PUBLIC STAIRS:**  
O.B.C. 9.8.4.  
-MAX. RISE = 7-3/32" (180mm)  
-MIN. RUN = 11" (280mm)  
-MIN. TREAD = 11" (280mm)  
-MAX. NOSING = 1" (25mm)  
-MIN. HEADROOM = 6'-9" (2050mm)  
-MIN. WIDTH = 2'-11" (900mm)  
(EXIT STAIRS, BETWEEN GUARDS)  
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS  
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2  
-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

**HANDRAILS:**  
O.B.C. 9.8.7  
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)  
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)  
-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH  
-HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOOR WAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

**HEIGHT:**  
O.B.C. 9.8.7.4  
-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.  
-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS  
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

**PROJECTIONS:**  
O.B.C. 9.8.7.6  
-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

**TERMINATION:**  
O.B.C. 9.8.7.3  
-ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

**FINISH:**  
O.B.C. 9.8.9.6  
-TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)  
-STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

36 **INTERIOR GUARDS:**  
O.B.C. SB-7 & 9.8.8.3.  
-GUARDS TO BE 3'-6" (1070mm) HIGH  
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH  
-INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS  
-PICKETS TO HAVE 4" (100mm) MAX. SPACING  
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

36a **EXTERIOR GUARDS:**  
O.B.C. SB-7 & 9.8.8.3.  
-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).  
-GUARDS TO BE 3'-6" (1070mm)  
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH  
-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.  
-PICKETS TO HAVE 4" (100mm) MAX. SPACING  
-PROVIDE MID-SPAN POSTS AS PER SB-7.  
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

36b **EXTERIOR GUARDS @ JULIET BALCONY:**  
-FOR RAILING SPANNING MAXIMUM OF 6'-0".  
-PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.  
-GUARDS TO BE 3'-6" (1070mm)  
-FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR  
-FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.  
-VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.  
-PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.

37 -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP

38 -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)

39 -CAPPED DRYER VENT

40 -1"x2" (19mm X 38mm) BOTH SIDES OF STEEL.

41 -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.

42 -PRECAST CONC. STEP  
-2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

44 SMOKE ALARM, O.B.C.- 9.10.19.  
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS  
-PROVIDE 1 IN EACH BEDROOM  
-PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS  
-INSTALLED AT OR NEAR CEILING  
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT  
-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM

45 CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.  
-WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.  
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.

46 -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY  
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.  
-R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED

47 -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.  
-R4 (RSI 0.70)

48 -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:  
1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR  
2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 20888  
FIRM BCIN: 26995  
DATE: JANUARY-13-23

SIGNATURE:

client Tice River Homes location Ayr  
project Legacy marketing name

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5	UPDATED NOTES TO OBC 2022 REQUIREMENTS	29-APR-22	DJH	DJH					

model TH-02  
scale 3/16" = 1'0"  
project # 17052  
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49 EXTERIOR COLUMN W/ MASONRY PIER:

-MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
-TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
-MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT.
-SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
-3/4" AIR SPACE AROUND POST.
OR
-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
-MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT.
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

FRAME CONSTRUCTION:

-ALL FRAMING LUMBER TO BE NO.1 AND NO. 2 SPF UNLESS NOTED OTHERWISE.
-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
-BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
-DOUBLE STUDS @ OPENINGS
-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
-BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS
-BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

49c EXTERIOR COLUMN:

-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

50 COLD CELLARS:

FOR COLD CELLARS PROVIDE THE FOLLOWING:
-VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
-COVER VENT W/ BUG SCREEN
-WALL MOUNTED LIGHT FIXTURE
-L1+L7 FOR DOOR OPENING
-2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ R20 (RSI 3.52) CONTINUOUS INSULATION (ZONE 1 OBC SB-12.3.1.1.2.A.)
-ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76) RIGID INSULATION W/ 2"x4"(38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION

WATERPROOF WALLS IN BATHROOMS:

-REQUIRED AS PER OBC 9.29.2.1.

WINDOWS:

-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
-AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
-FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

DRAIN WATER HEAT RECOVERY:

-DWHR UNITS TO BE INSTALLED AS PER OBC SB-12.3.1.1.1.(22) & 3.1.1.12. SENTENCES (1) TO (6)
-DWHR ARE REQUIRED IN ALL DWELLING UNITS TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST 2 SHOWERS WHERE THERE ARE 2 OR MORE SHOWERS PROVIDED THERE IS A CRAWL SPACE OR STOREY BELOW THE SHOWERS.

51 STUD WALL REINFORCEMENT:

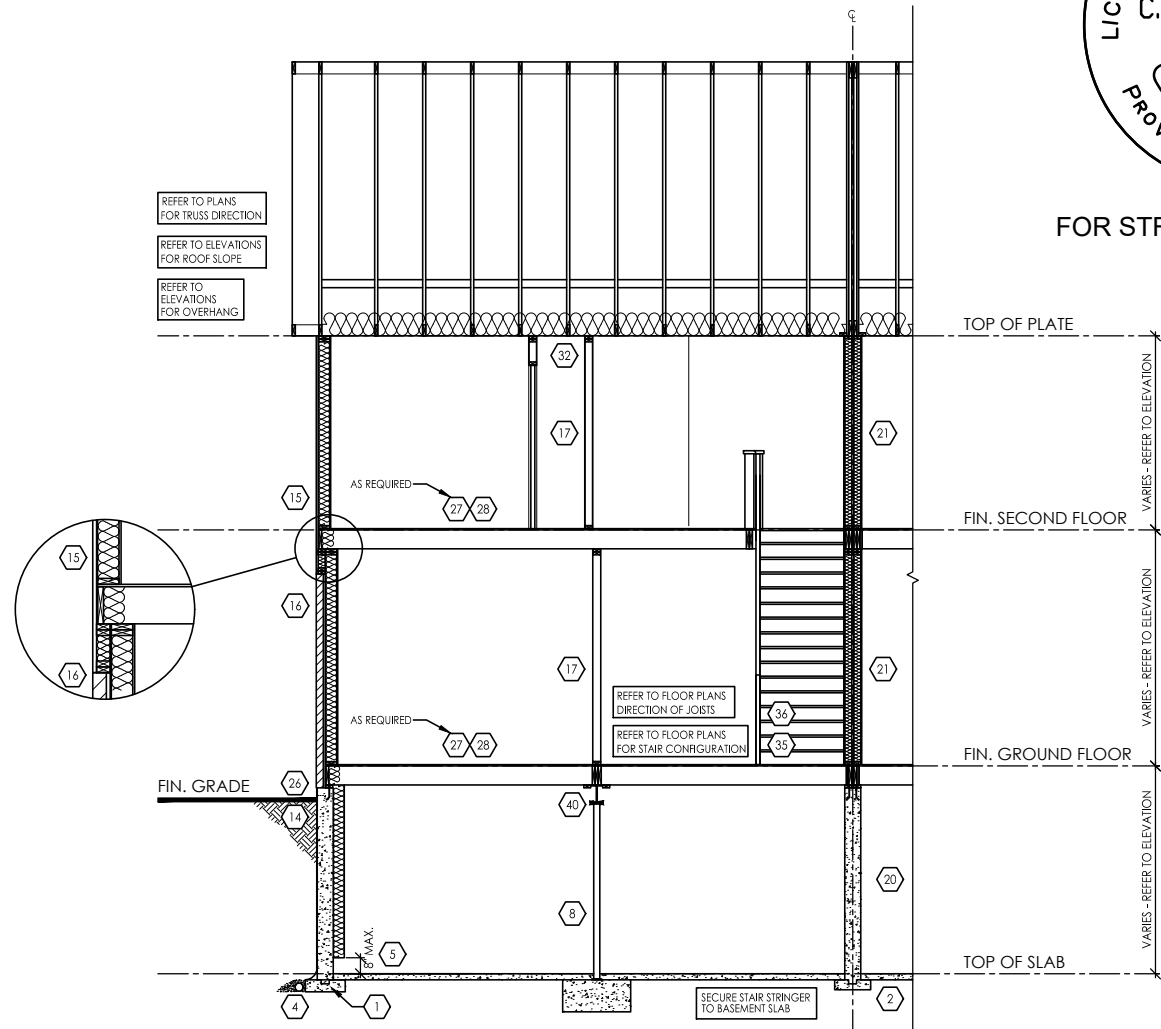
O.B.C. 9.5.2.3.
-WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)
-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

53 WINDOW GUARDS:

@ STAIRS, LANDINGS & RAMPS - OBC 9.8.8.1.(8)
WINDOW SILL AT 3'-0" (900mm) OR GREATER DOES NOT REQUIRE GUARDS
@ FLOORS - OBC 9.8.8.1.(6)
WINDOWS LESS THAN 1'-7" (480mm) ABOVE FLOORS WHERE ADJACENT GRADE IS GREATER THAN 5'-11" (1800mm) REQUIRE A GUARD PER OBC 9.8.8.2.
-OR -
WINDOW TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND LATERAL LOADS PER OBC 9.8.8.1.(8)(b)



FOR STRUCTURAL ITEMS ONLY



TYPICAL CROSS SECTION - TOWN HOUSE (BRICK & SIDING) N.T.S.

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

CLIENT SPECIFIC REVISIONS

SCHEDULES

Table with 2 columns: DOORS (A-G) and their dimensions.

Table with 2 columns: STEEL BEAMS (ST1-ST5) and their dimensions.

Table with 3 columns: WOOD BEAMS (WD1-WD17), LINTELS (L1-L13), and their dimensions.

PLAN/ELEVATION LEGEND

Legend table listing symbols for Smoke Alarm, Waterproof Duplex Outlet, Vents and Intakes, Hose Bib, Exhaust Fan, Cold Cellar Vent, Stove Vent, Fire Place Vent, Dryer Vent, Carbon Monoxide Alarm, Double Joist, Pressure Treated Lumber, Girder Truss, Above Finished Floor, Beam by Floor Manuf Flush, Dropped, Repeat Same Joist Size, Under Side, Fixed Glazing, Glass Block, Black Glass, Floor Drain, Solid Bearing, Point Load, Flat Arch, Ext. Light Fixture, Hydro Meter, Gas Meter.

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 20888
FIRM BCIN: 26995
DATE: JANUARY-13-23

SIGNATURE: [Signature]

Table with client information: Tice River Homes, Legacy, and a revisions table with columns for #, revisions, date, dwn, chk, #, revisions, date, dwn, chk.

Logo for RN DESIGN and contact information: WWW.RNDESIGN.COM, Tel: 905-738-3177, WWW.THEPLUSGROUP.CA

model TH-02
scale 3/16" = 1'0"
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